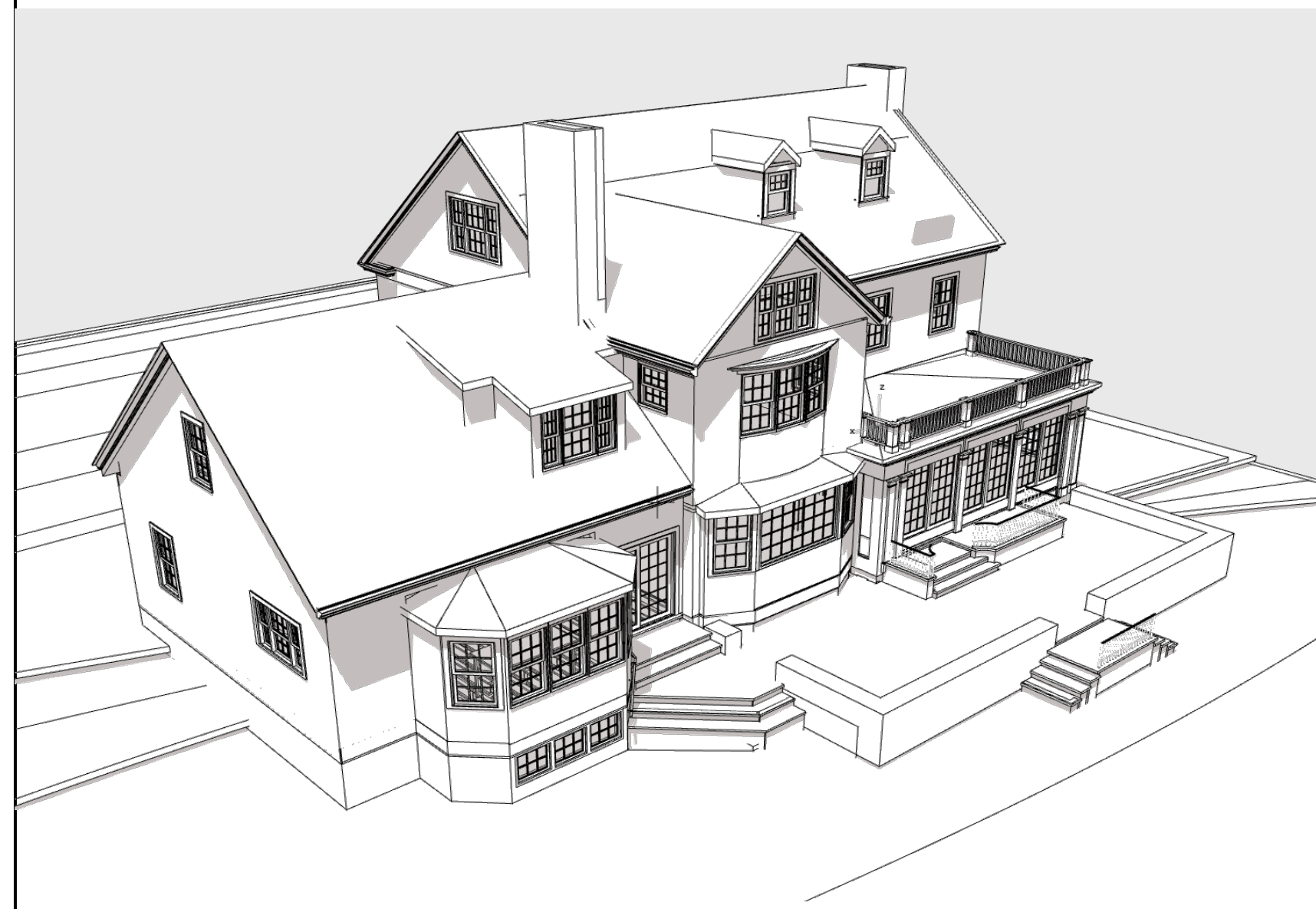
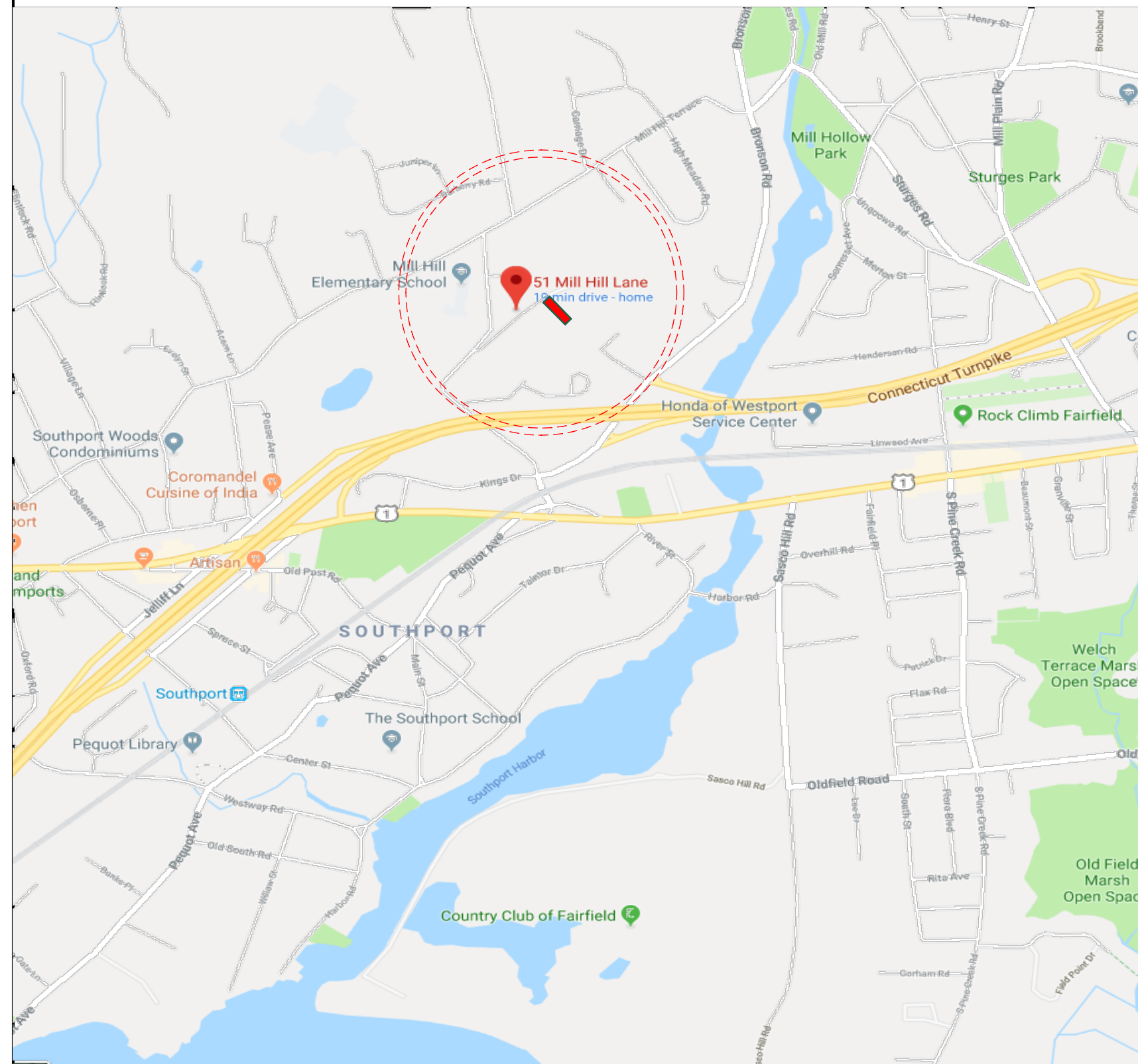


View from Southwest



View from Southeast

Property Location Map
51 Mill Hill Lane, Fairfield, Ct



FRONT ELEVATION
(WEST)

Architectural Plans For:
Zandy & Blythe Smith

Drawings & Documents Index
Thursday, April 4, 2019

Construction Plans	
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A-03	Proposed Elevation Revisions
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A-05	1st Floor Plan
A-06	1st Floor - Kitchen Lighting Layout
A-07	2nd Floor Plan
A-08	2nd Floor - MBR Suite - 1/2" Scale
A-09	Attic Floor Plan & Roof Plan
A-10	Building Section A
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A-12	Building Section C
A-13	Typical Wall Sections
A-14	Window & Door Schedules
A-15	High Wind Details
Ex-01	Existing Elevations

NOTE: Only Drawings that are Signed & Sealed by The Architect may be used for Obtaining the Building Permit & Construction of the Project. Progress Drawings or Bid Documents are not to be used for these purposes.

These Drawings are "An Instrument of Service" provided to The Client for several purposes. They are used for documenting the Design Process between the Client and the Architect, Defining the Scope of Work to be built, obtaining Estimates & Bids, and for Obtaining Building Permits and Approvals as may be required for Construction of this Project. Any other use is prohibited by law unless written permission is obtained from BOTH The Client and The Architect.

Use of Documents
All drawings, data, & electronic media included or referenced in these documents are Instruments of Service and the property of Joseph Matto Architects. These documents are copyright protected and not to be used for any other project or by any other persons other than those identified and authorized on this page.

Accuracy of Documents
All dimensions & conditions depicted in these drawings are for the purpose of defining the Scope of Work and the Design Intention of the Owner and Architect. Any discrepancies between these drawings and actual field conditions or measurements must be reported promptly to the Architect prior to proceeding with construction. Any field changes to the design while under construction must also be reported to the Architect so that the Record Drawings can be updated and the changes reviewed for code compliance and possible design conflicts.

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Building Code References

THE ZONING REGULATIONS of the Town of Fairfield
FAIRFIELD COUNTY, CONNECTICUT
THE CONNECTICUT STATE BUILDING CODE - Effective October 1, 2018
Division of Construction Services - Office of the State Building Inspector - Hartford, Ct.
Inclusive of the following references & documents:

TABLE OF CONTENTS	
2018 STATE BUILDING CODE	
Introduction and adopted model codes	1
Amendments to the 2015 International Building Code	3
Amendments to ICC A117.1-2009	71
Amendments to the 2015 International Existing Building Code	73
Amendments to the 2015 International Plumbing Code	83
Amendments to the 2015 International Mechanical Code	91
Amendments to the 2015 International Energy Conservation Code	99
Amendments to the 2017 NFPA 70, National Electrical Code	107
Amendments to the 2015 International Residential Code	113

Use Group R-3

Construction Type 5B

General Building Design Criteria

Design Loads: Max Deflection L/360

1st Floor - 45 PSF Live Load, 15 PSF Dead Load
2nd Floor - 35 PSF Live Load, 15 PSF Dead Load
3rd Floor - 35 PSF Live Load, 15 PSF Dead Load
Roof - 30 PSF Snow Load, 15 PSF Dead Load

ResCheck - IECC (International Energy Code Compliance)

Energy Code Compliance will be confirmed by the General Contractor and Insulation Sub-Contractor using most current version of ResCheck and will be appended to the Building Permit Application.

Reminder - Call Before You Dig! 1-800-922-4445

The Presence & Location of all underground utilities & structures must be determined prior to construction and verified by the appropriate Utility Company or regulatory agency.

Builder
&
General
Contractor

Jake Cleveland

Project
Consultants

Sage Design - Kathy Hodge Interior Designer

Project
Data

Zandy & Blythe Smith

51 Mill Hill Lane
Southport, Ct.

Phone: _____
Email: _____

Project Year
2019

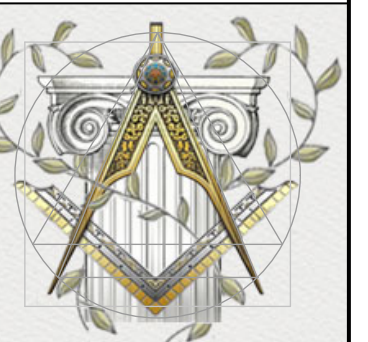
JOSEPH MATTO ARCHITECT

AIA

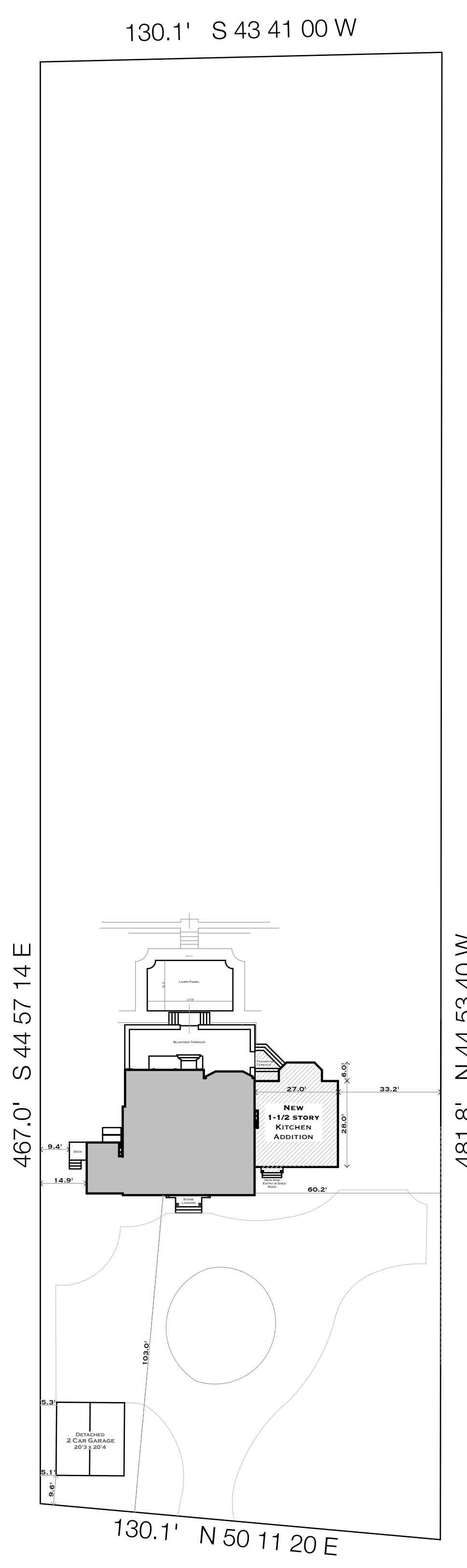
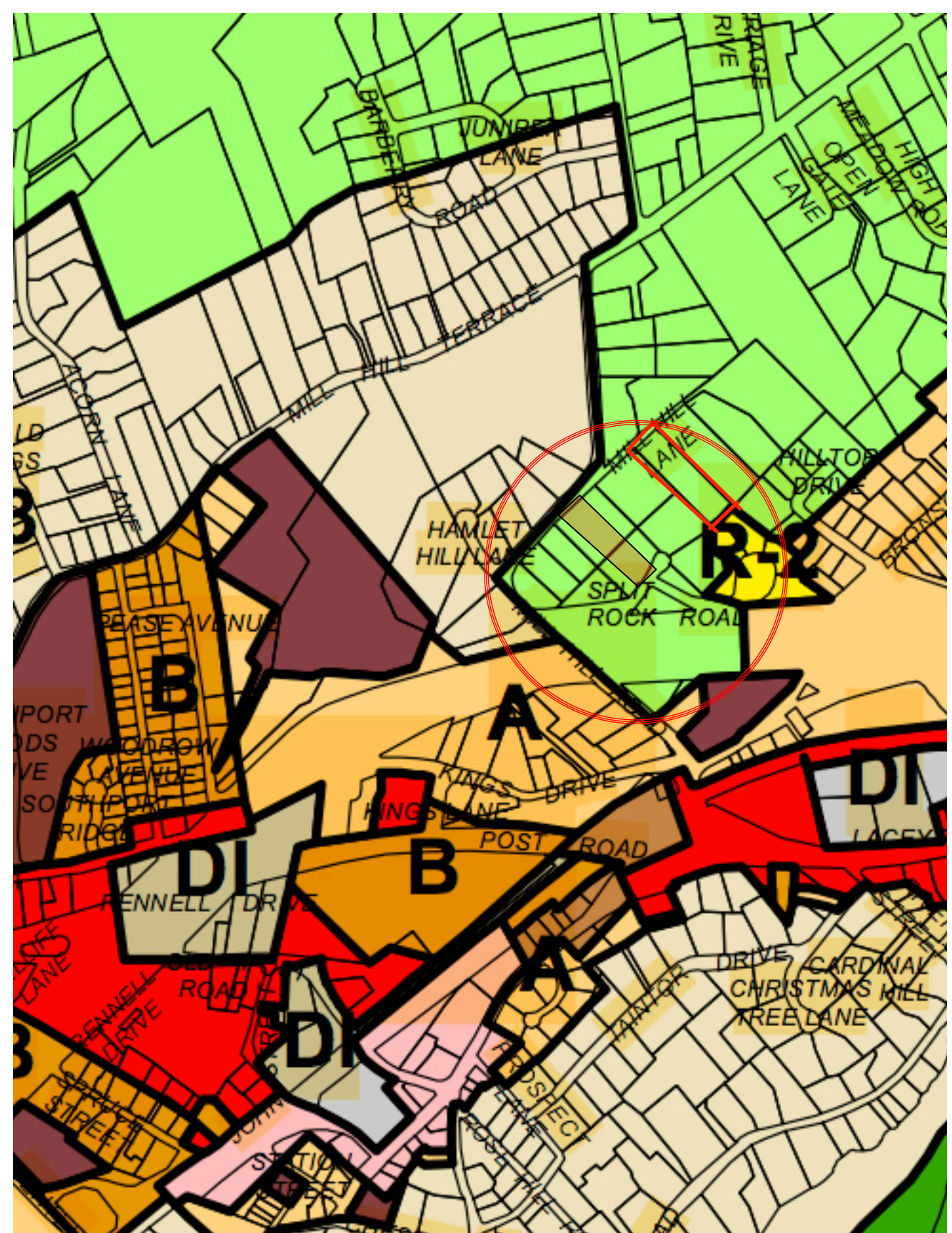
(475) 282-4183
joemattoarchitects@gmail.com

414A Blackhawk Lane Stratford, Ct 06614

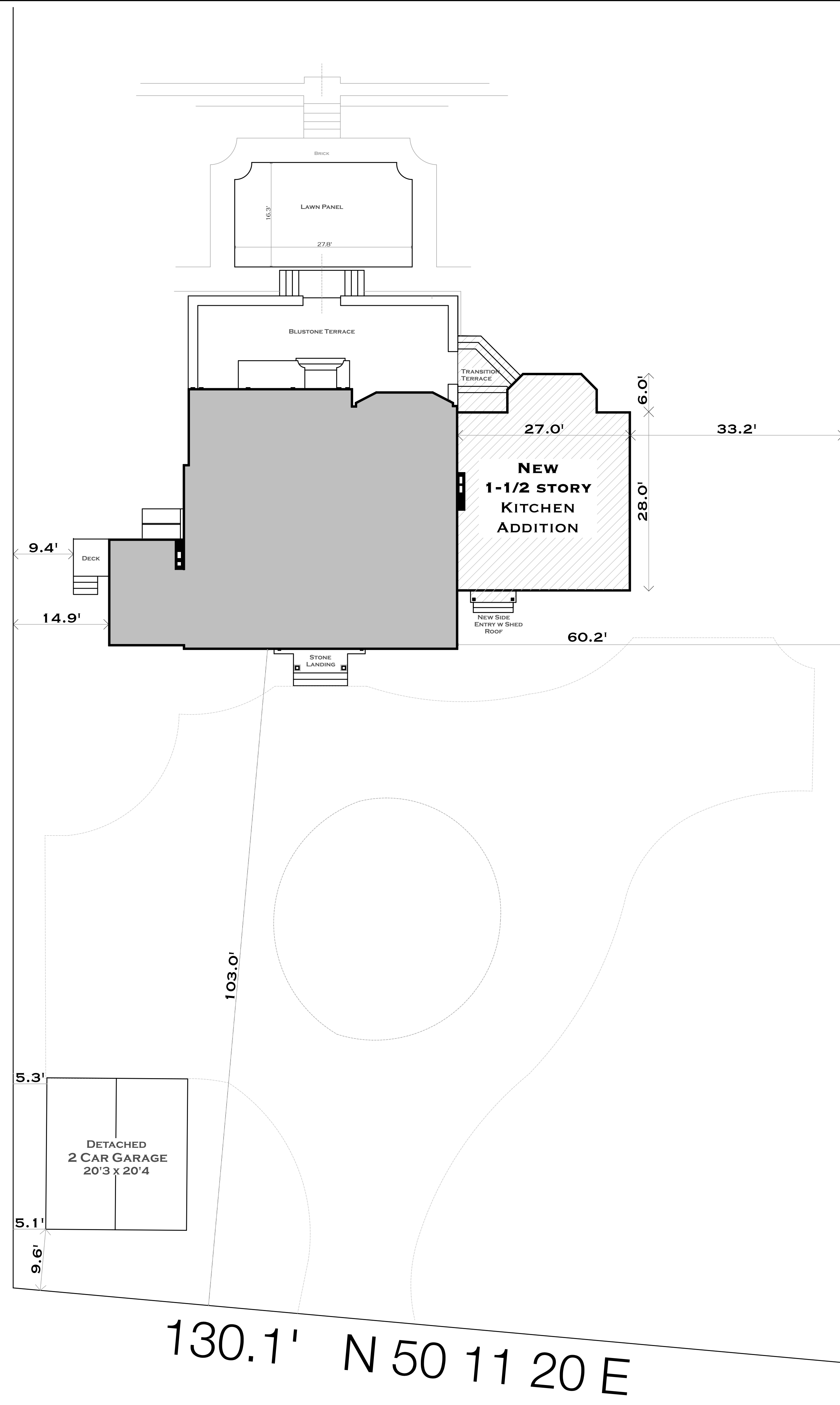
CONNECTICUT REGISTERED
ARCHITECT
#8440



R-2 thirty (30) but on a corner lot any building or other structure, except an unattached accessory building or structure, may extend to within twenty two (22) feet of one (1) street line. ten (10), but the sum of the setbacks from the two (2) side lot lines shall not be less than twenty-five (25) feet. thirty (30)

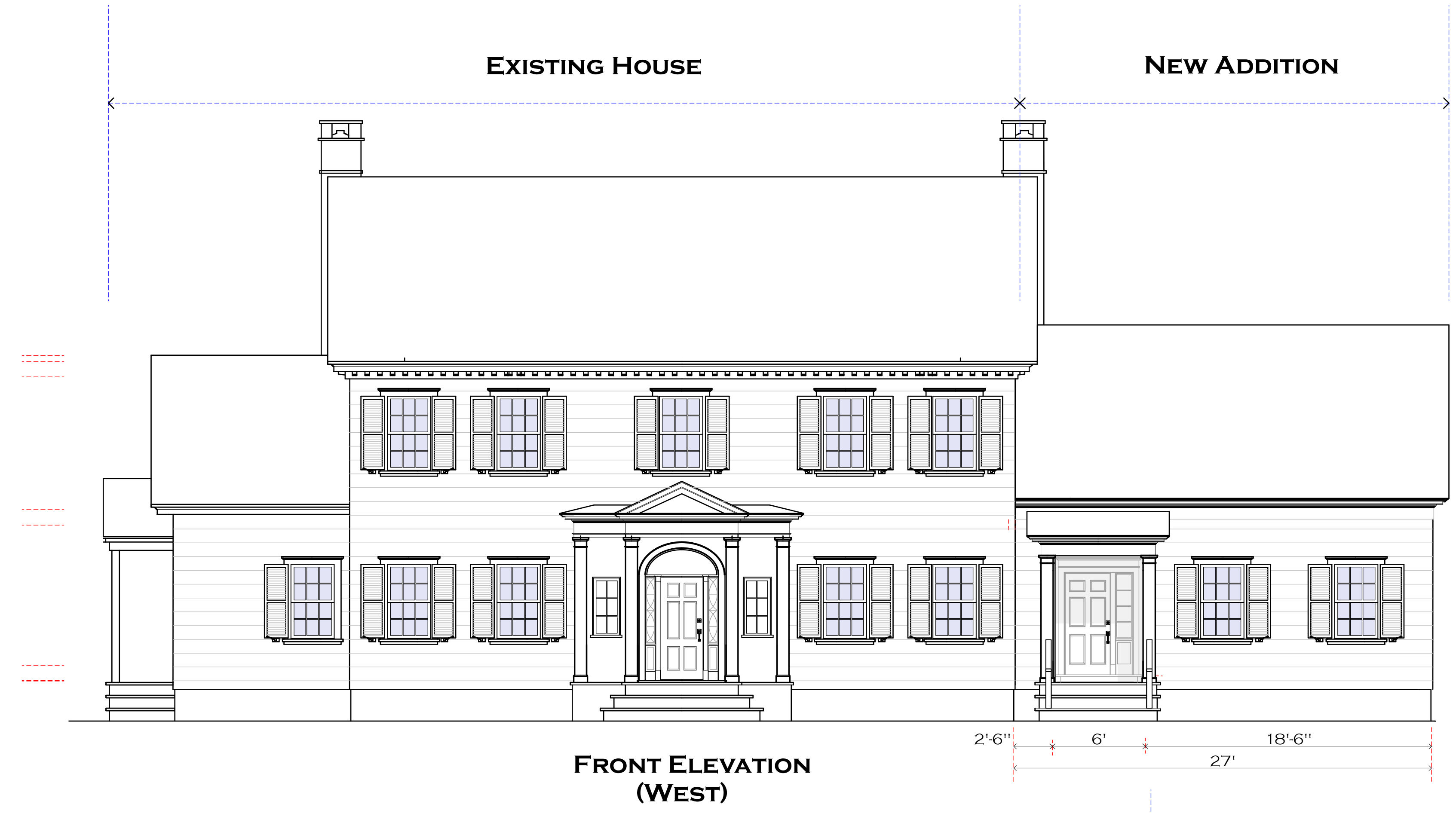


467.0' S 44 57 14 E

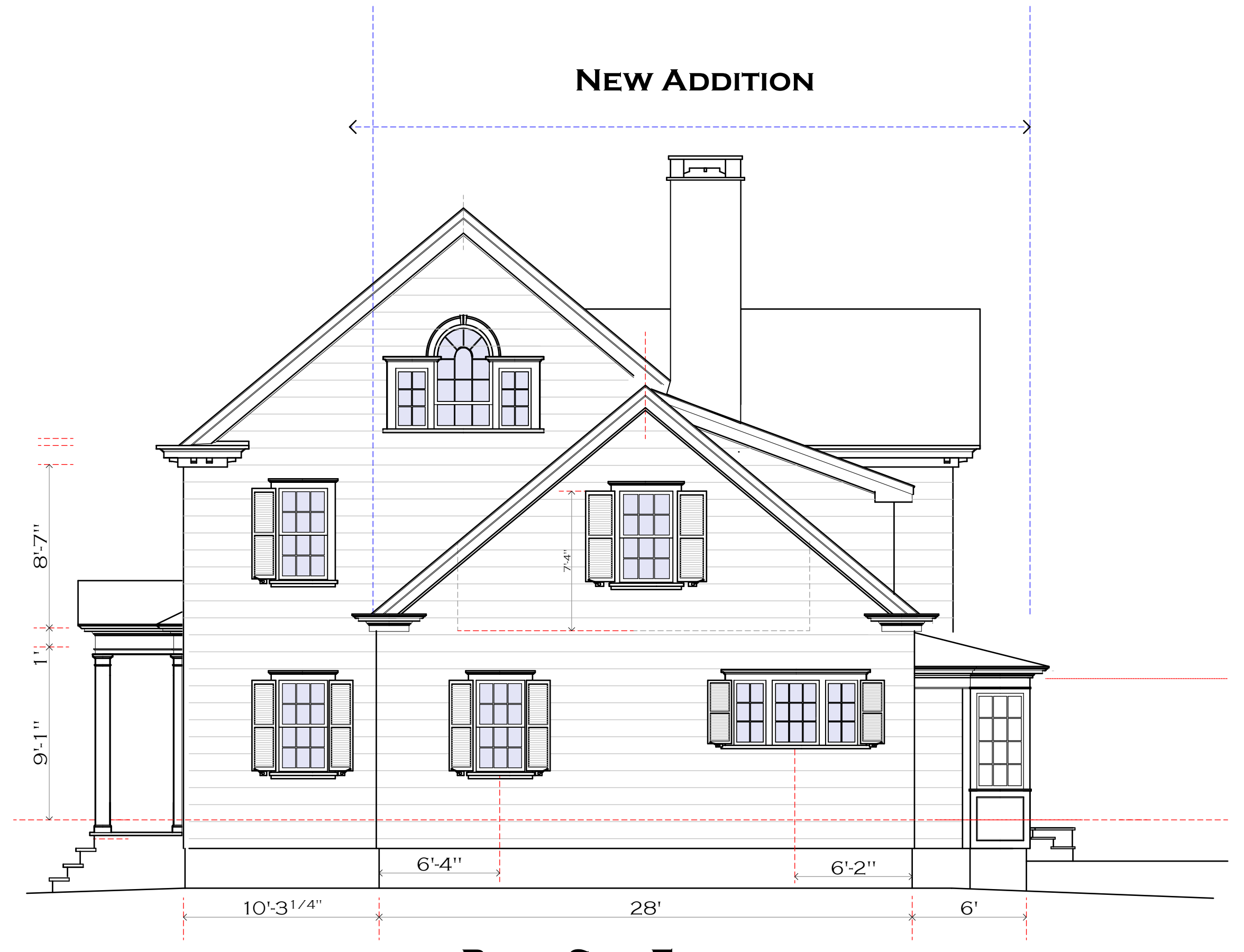


130.1' N 50 11 20 E

Issue Date 4/4/19	
Site Plans & Aerial	
Joseph Matto Architect AIA 414 Blackhawk Lane Stratford, CT	51 Mill Hill Lane Southport, CT
IN COLLABORATION WITH SAGE DESIGN PROJECT CLIENTS: BLYTHE & ZANDY SMITH	
A-02	



**FRONT ELEVATION
(WEST)**



**RIGHT SIDE ELEVATION
(SOUTH)**



**LEFT SIDE ELEVATION
(NORTH)**



**REAR ELEVATION
(EAST)**

Issue Date
4/4/19

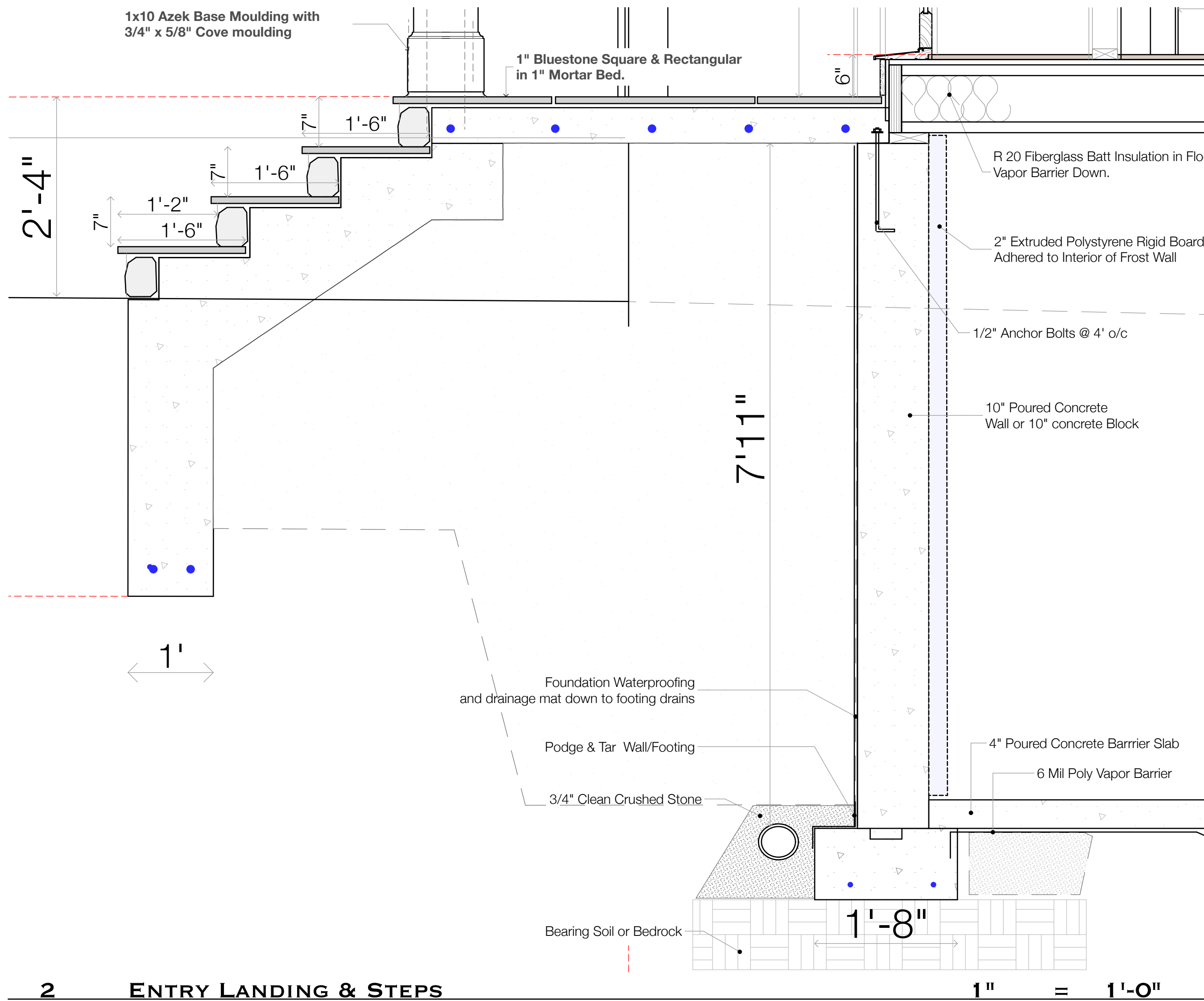
Proposed Elevation Revisions

Joseph Matto Architect AIA 414 Blackhawk Lane Stratford, CT
 IN COLLABORATION WITH SAGE DESIGN
 PROJECT CLIENTS: BLYTHE & ZANDY SMITH
 51 Mill Hill Lane Southport, CT

Concrete Qty Data:

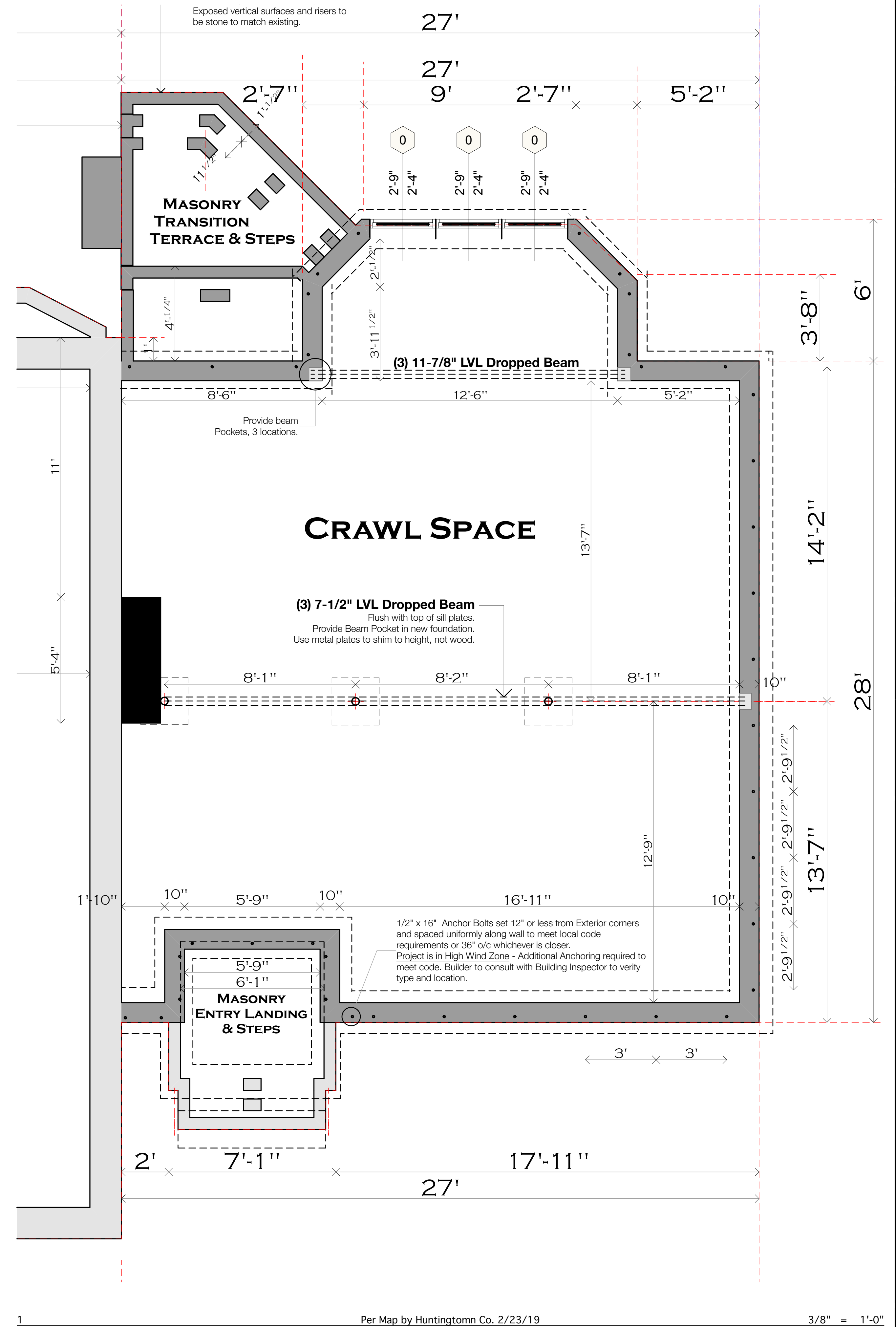
Wall & Steps Footings.... 6 Cubic Yards
 Foundation Walls 23 Cubic Yards
 Slabs 10 Cubic Yards
 Entry Steps & Slabs 2 Cubic Yards
 Rear Terrace & Steps... 4 Cubic Yards

Total..... 45 Cubic Yards



2 ENTRY LANDING & STEPS

1" = 1'-0"



Per Map by Huntingtomn Co. 2/23/19

3/8" = 1'-0"

Issue Date
4/4/19

Foundation Plan

414 Blackhawk Lane
Stratford, CT

51 Mill Hill Lane
Southport, CT

Joseph Matto Architect AIA

IN COLLABORATION WITH SAGE DESIGN

PROJECT CLIENTS: BLYTHE & ZANDY SMITH


























A-04

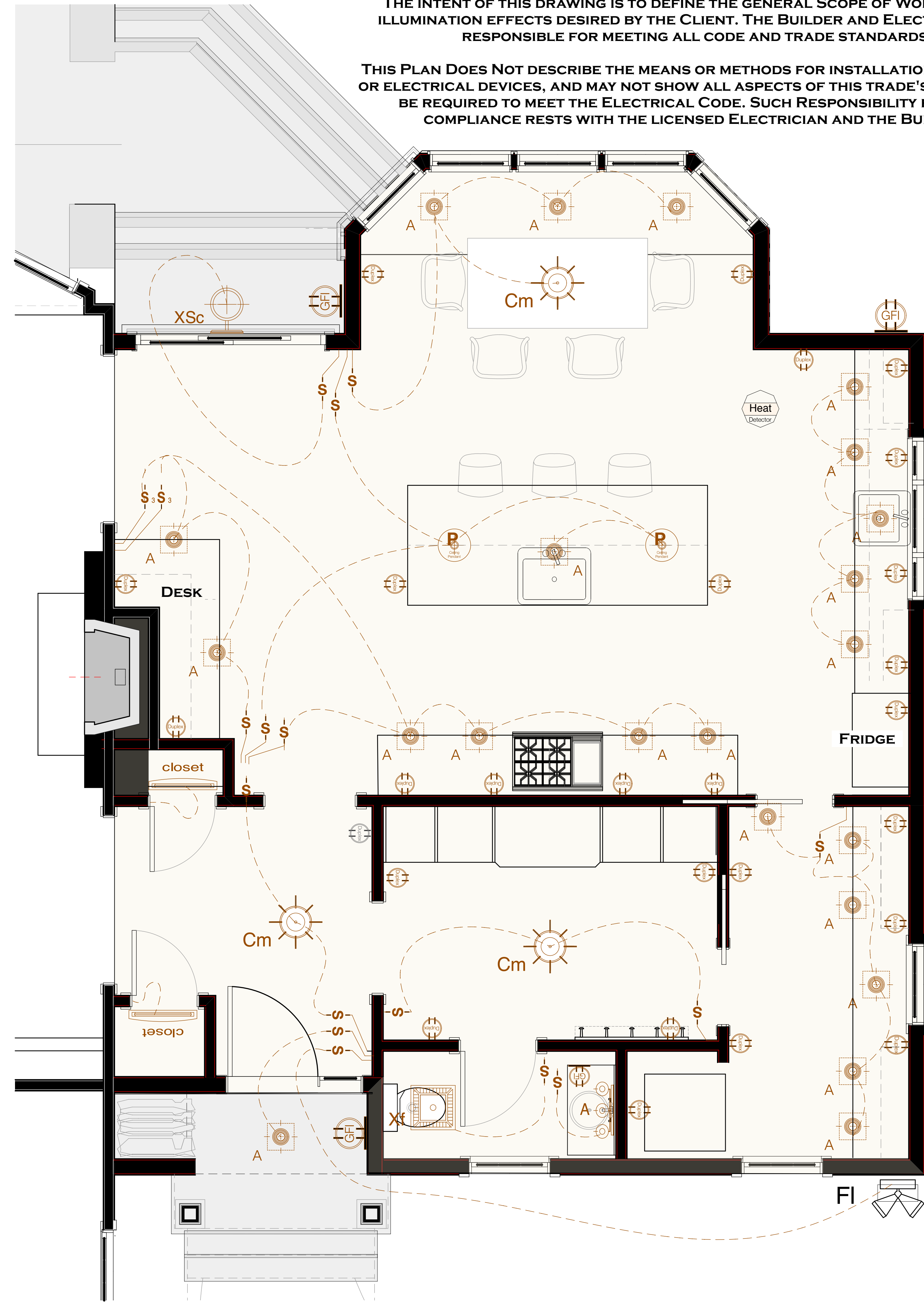
NOTE: THIS IS A LIGHTING LAYOUT & SWITCH LOCATION PLAN ONLY.

THE INTENT OF THIS DRAWING IS TO DEFINE THE GENERAL SCOPE OF WORK AND THE ILLUMINATION EFFECTS DESIRED BY THE CLIENT. THE BUILDER AND ELECTRICIAN ARE RESPONSIBLE FOR MEETING ALL CODE AND TRADE STANDARDS.

THIS PLAN DOES NOT DESCRIBE THE MEANS OR METHODS FOR INSTALLATION OF FIXTURES OR ELECTRICAL DEVICES, AND MAY NOT SHOW ALL ASPECTS OF THIS TRADE'S WORK AS MAY BE REQUIRED TO MEET THE ELECTRICAL CODE. SUCH RESPONSIBILITY FOR CODE COMPLIANCE RESTS WITH THE LICENSED ELECTRICIAN AND THE BUILDER.

ELECTRICAL SYMBOLS LEGEND

-  DUPLEX OUTLET
-  DUPLEX OUTLET - GFI
-  DUPLEX OUTLET - HALF HOT - SWITCHED
-  R RECESSED LIGHT
-  AR ADJUSTABLE RECESSED LIGHT
-  SL ... SHOWER LIGHT WET LOCATIONS
-  Cm CEILING SURFACE MOUNTED
-  P-SM PENDANT SURFACE MOUNTED
-  P-SM PENDANT SURFACE MOUNTED
-  XF EXTERIOR FLOOD LIGHT
-  WS WALL SCONCE
-  XWS EXTERIOR WALL SCONCE
-  CL CLOSET APPROVED WALL LIGHT
-  WLA WALL MOUNTED ARTICULATED ARM
-  WLA WALL MOUNTED ARTICULATED ARM
-  GFI GROUND FAULT INTERRUPT OUTLET
-  S₁ 1 WAY OR SINGLE LOCATION
-  S_{1D} 1 WAY OR SINGLE LOCATION WITH DIMMER
-  S₃ SWITCH - 3-WAY OR MULTIPLE LOCATION
-  S_{3D} SWITCH - 3-WAY OR MULTIPLE LOCATION WITH DIMMER
-  SWITCH LEG - WIRING CONNECTION
-  Xf BATHROOM EXHAUST FAN
-  CARBON DIOXIDE DETECTOR
-  HEAT DETECTOR
-  SMOKE DETECTOR



Issue Date
4/4/19

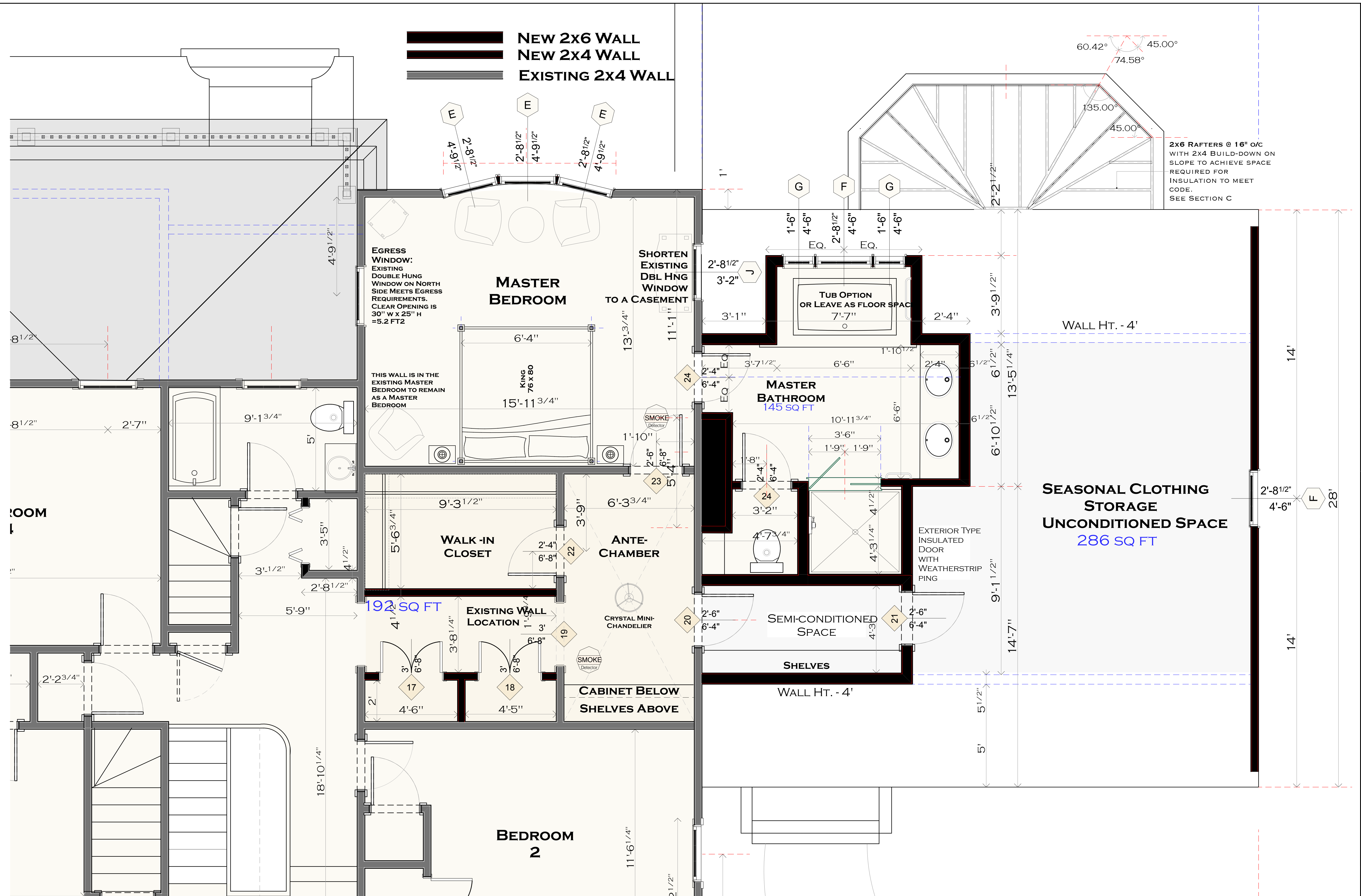
1st Floor - Kitchen Lighting Layout

Joseph Matto Architect AIA
414 Blackhawk Lane
Stratford, CT

IN COLLABORATION WITH SAGE DESIGN
PROJECT CLIENTS: BLYTHE & ZANDY SMITH

A-06

 **NEW 2x6 WALL**
 **NEW 2x4 WALL**
 **EXISTING 2x4 WALL**



60.42° 45.00°
74.58°
135.00°
45.00°

2x6 RAFTERS @ 16" o/c
WITH 2x4 BUILD-DOWN ON
SLOPE TO ACHIEVE SPACE
REQUIRED FOR
INSULATION TO MEET
CODE.
SEE SECTION C

Issue Date
4/4/19

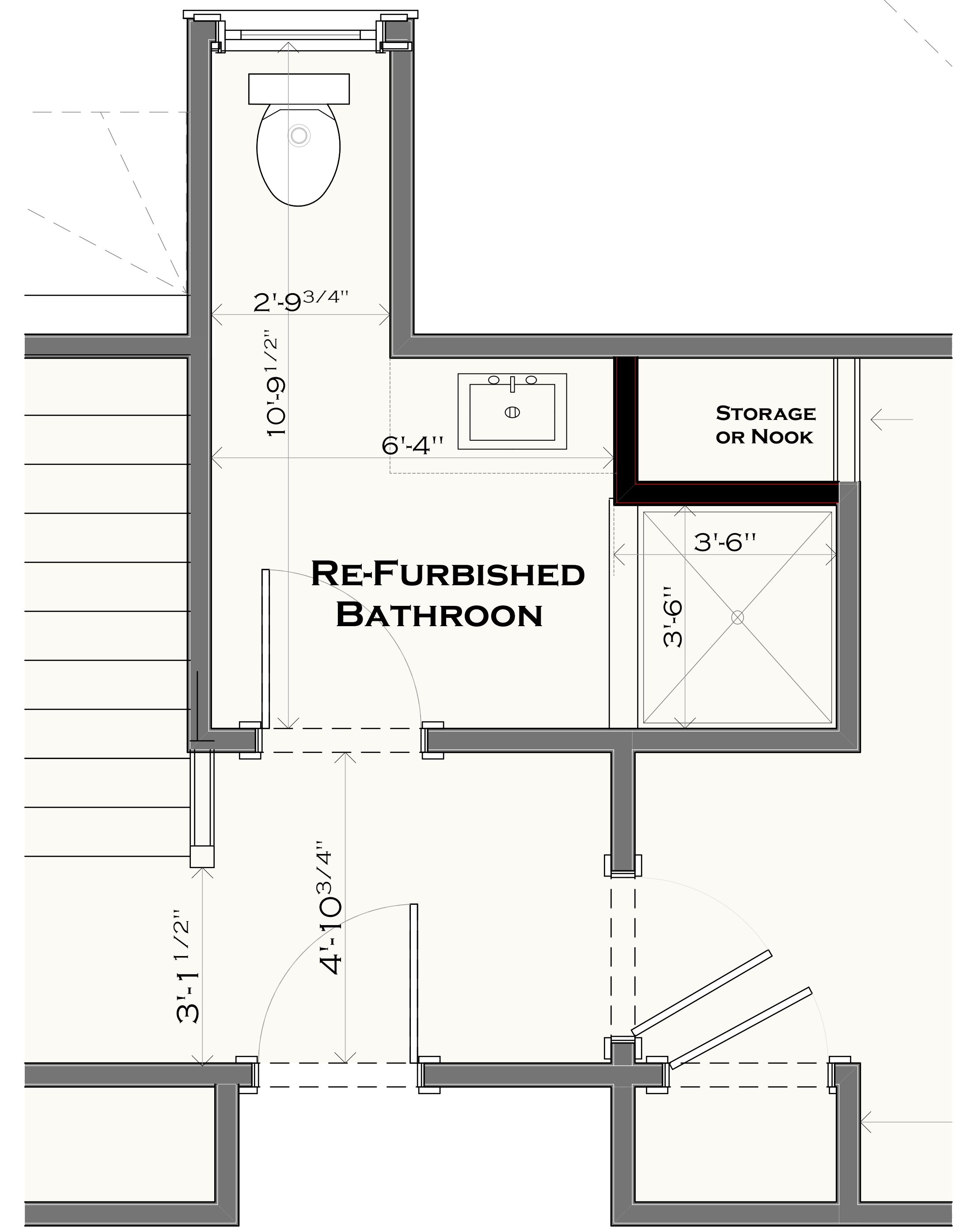
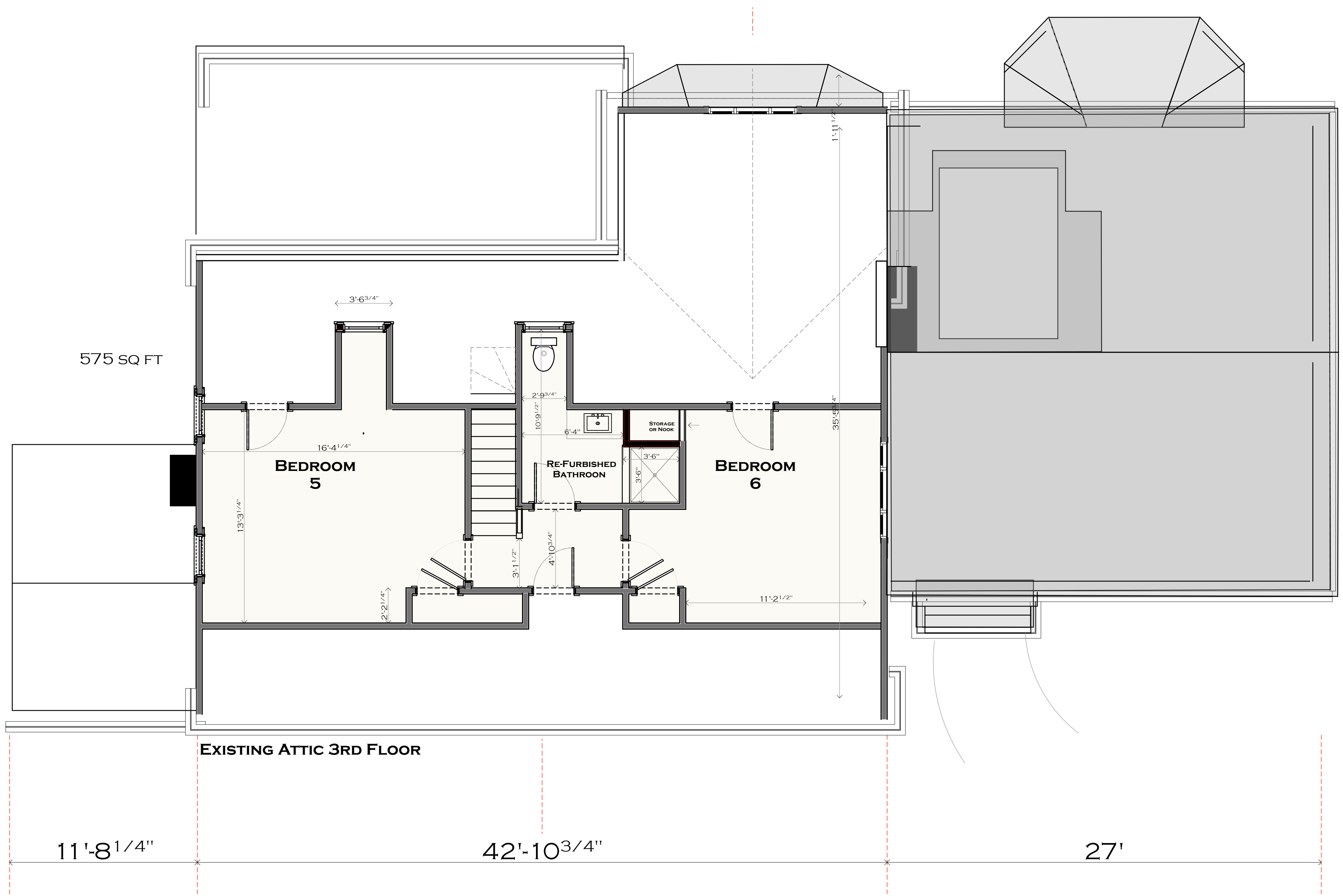
2nd Floor - MBR Suite - 1/2" Scale

414 Blackhawk Lane
Stratford, CT

51 Mill Hill Lane
Southport, CT

Joseph Matto Architect AIA
IN COLLABORATION WITH SAGE DESIGN
PROJECT CLIENTS: BLYTHE & ZANDY SMITH

A-08



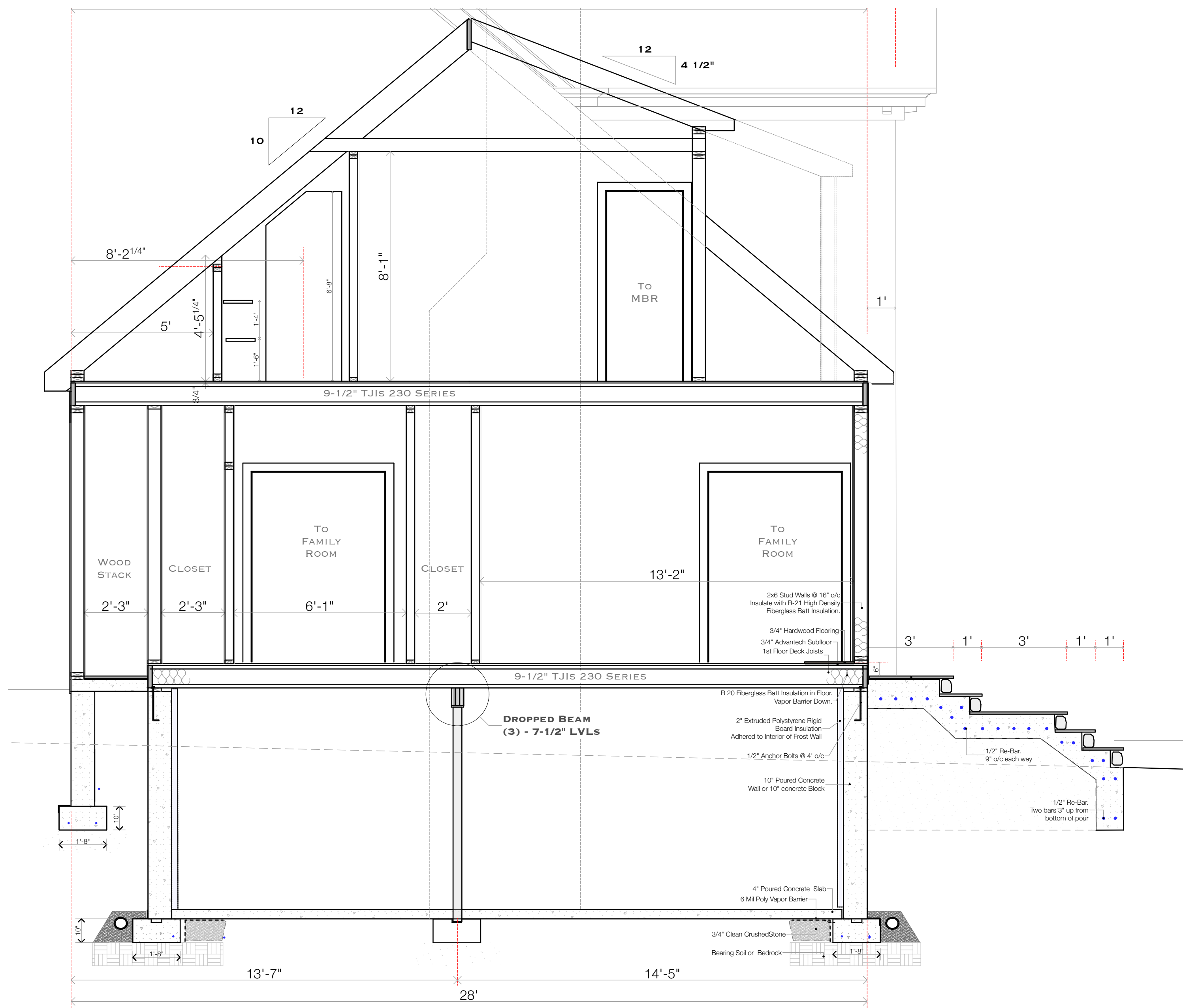
Issue Date
4/4/19

Attic Floor Plan & Roof Plan

Joseph Matto Architect AIA
414 Blackhawk Lane
Stratford, CT

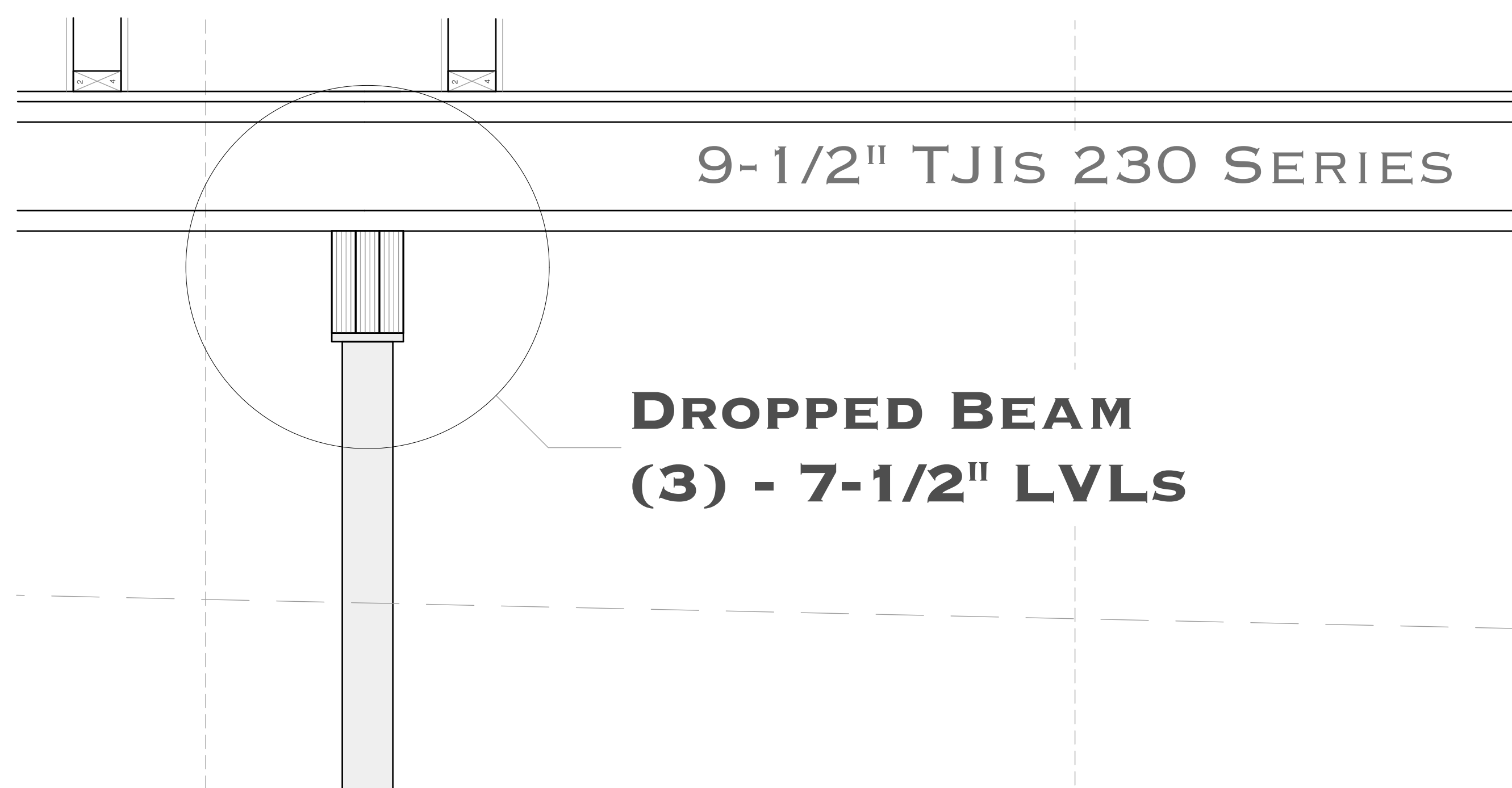
IN COLLABORATION WITH SAGE DESIGN
PROJECT CLIENTS: BLYTHE & ZANDY SMITH

51 Mill Hill Lane
Southport, CT



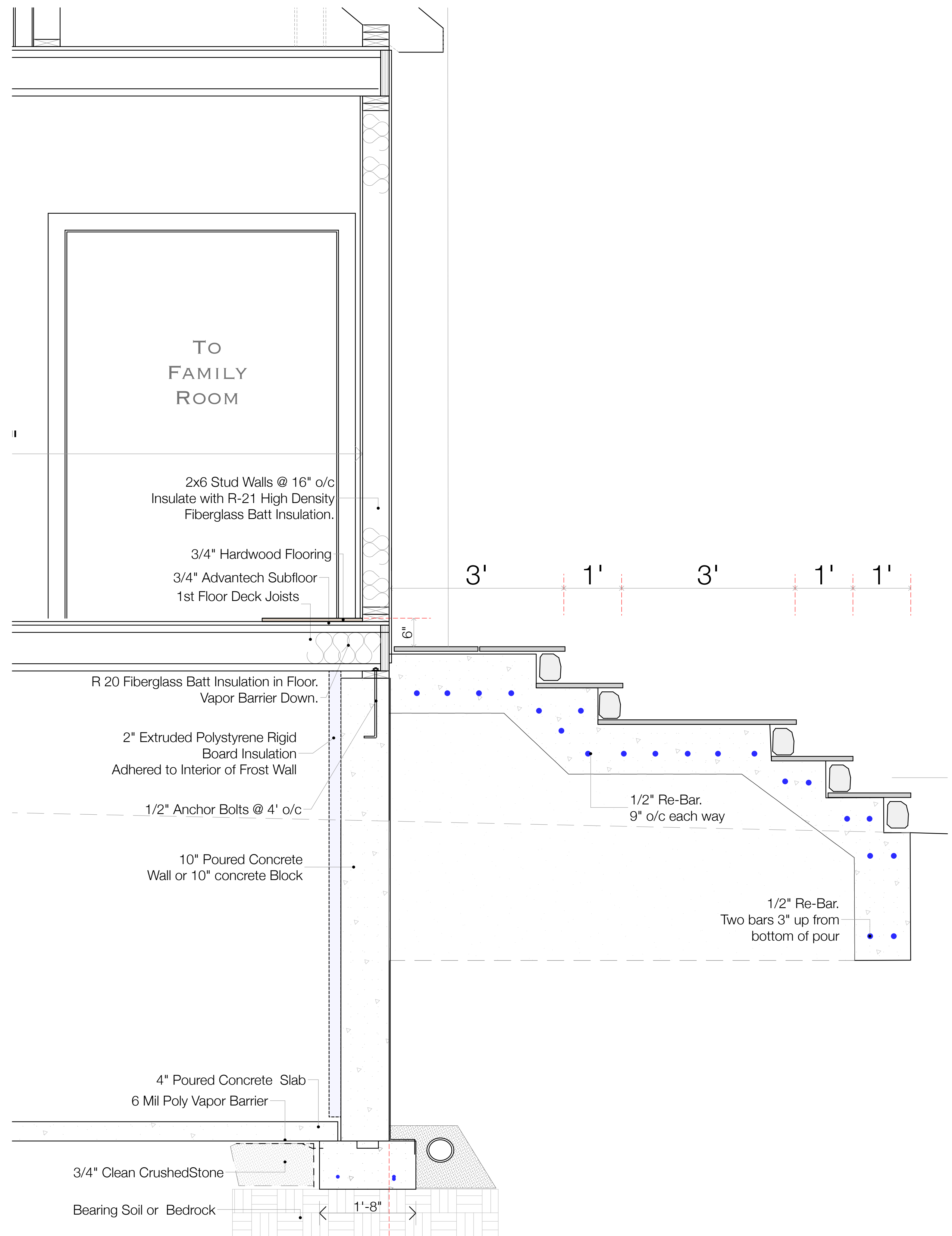
1 BUILDING CROSS-SECTION A

3/8" = 1'-0"



2 SECTION DETAIL - DROPPED BEAM IN BASEMENT

1 1/2" = 1'-0"



3 FOUNDATION WALL SECTIONS & REAR TRANSITION TERRACE

1" = 1'-0"

Issue Date
4/4/19

Building Section A

414 Blackhawk Lane
Stratford, CT

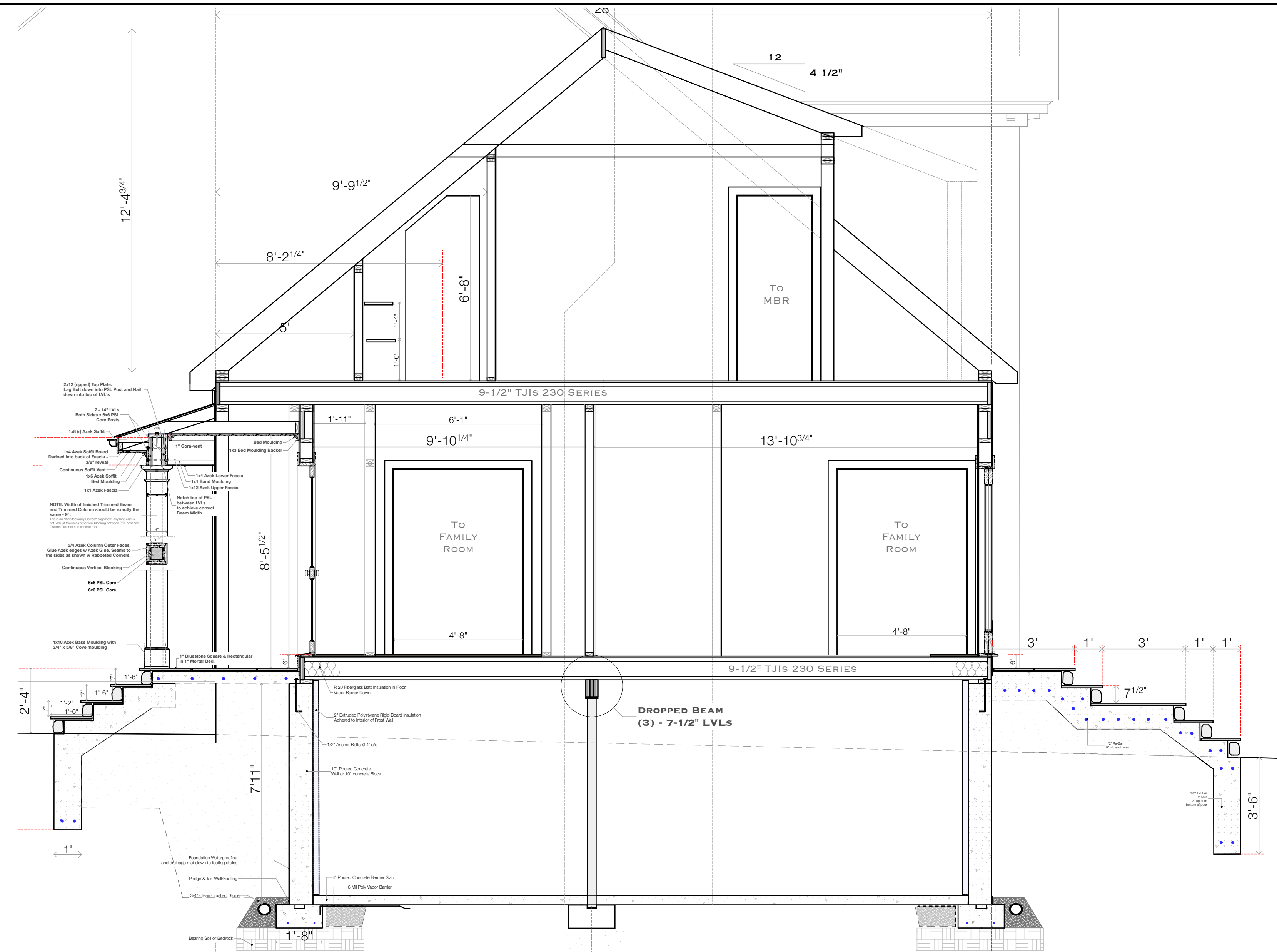
51 Mill Hill Lane
Southport, CT

Joseph Matto Architect AIA

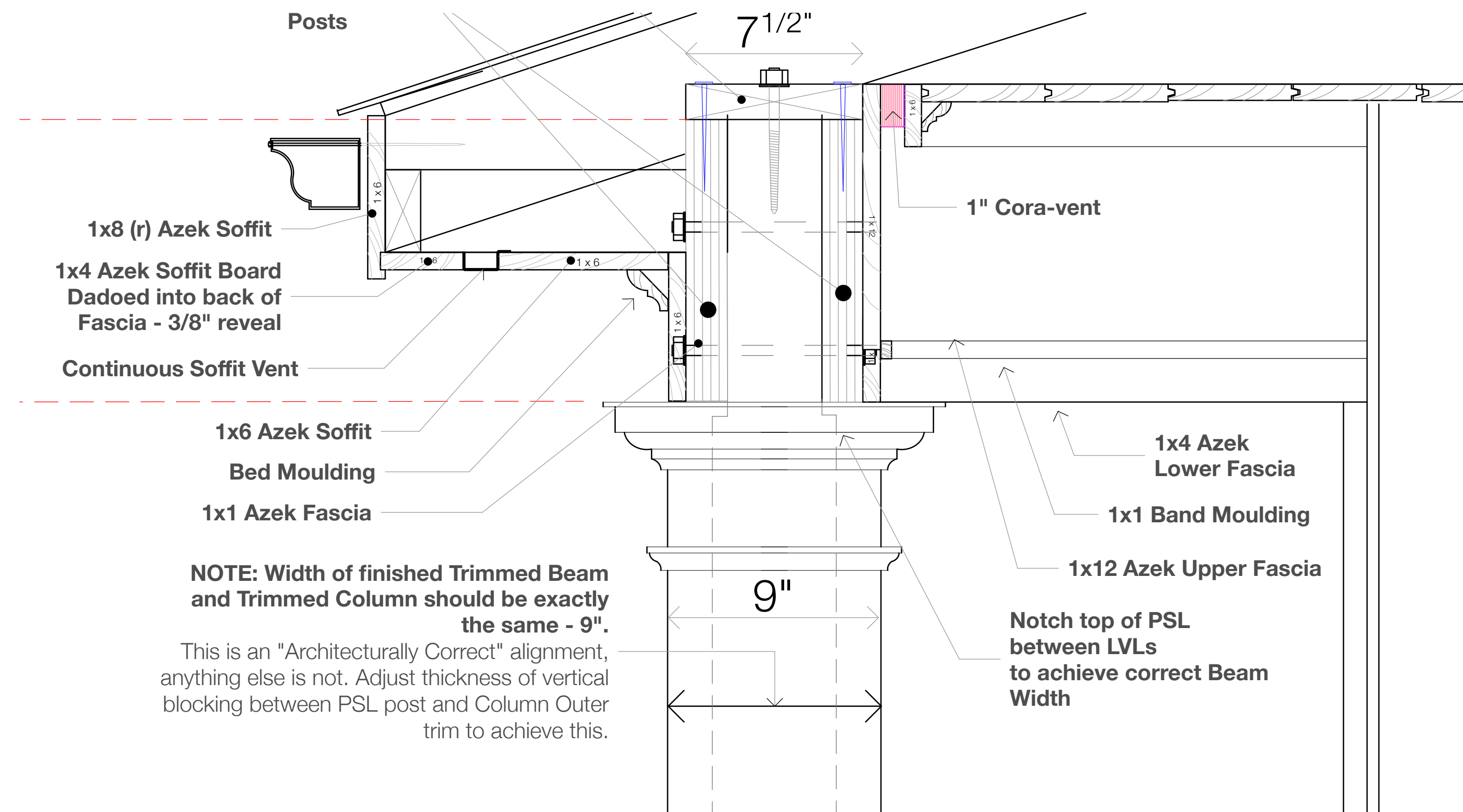
IN COLLABORATION WITH SAGE DESIGN

PROJECT CLIENTS: BLYTHE & ZANDY SMITH

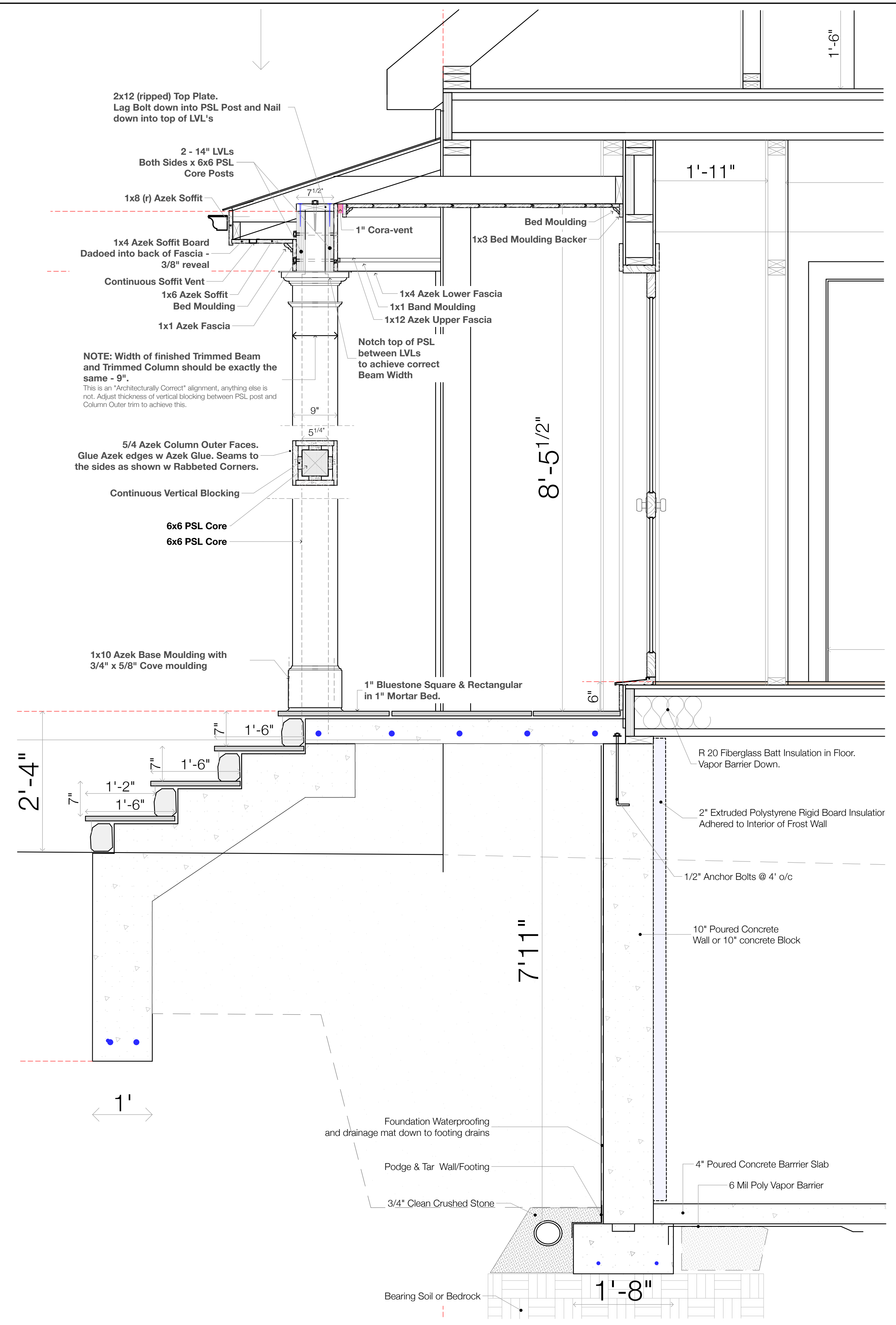
A-10



1 BUILDING CROSS-SECTION B Not To Standard Scale - 3/8" = 1'-0"



2 COLUMN TO ENTABLATURE DETAIL 3" = 1'-0"



3 ENTRY SECTION DETAIL 1" = 1'-0"

Issue Date
4/4/19

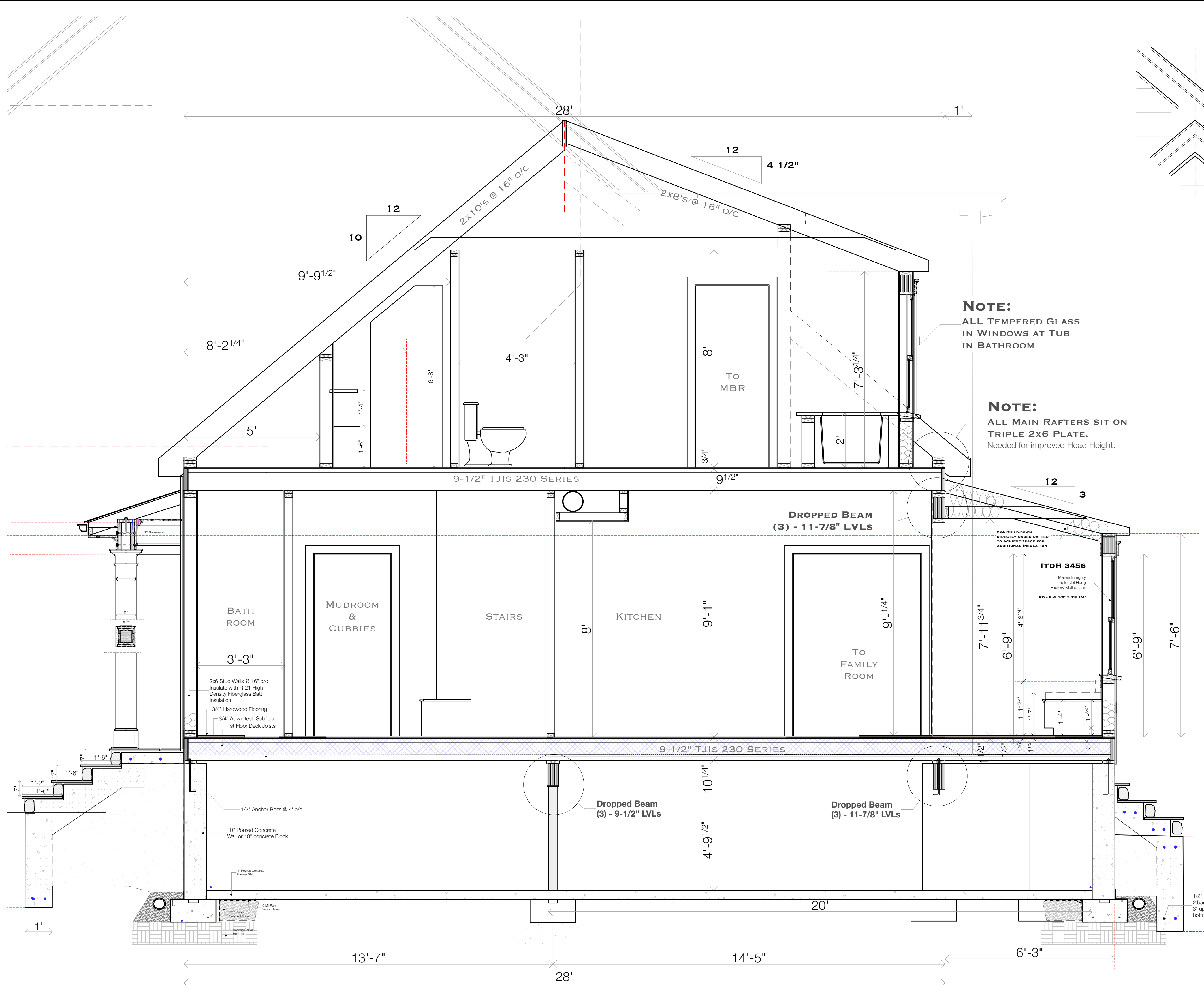
Building Sections B

Joseph Matto Architect AIA
414 Blackhawk Lane
Stratford, CT

IN COLLABORATION WITH SAGE DESIGN
51 Mill Hill Lane
Southport, CT

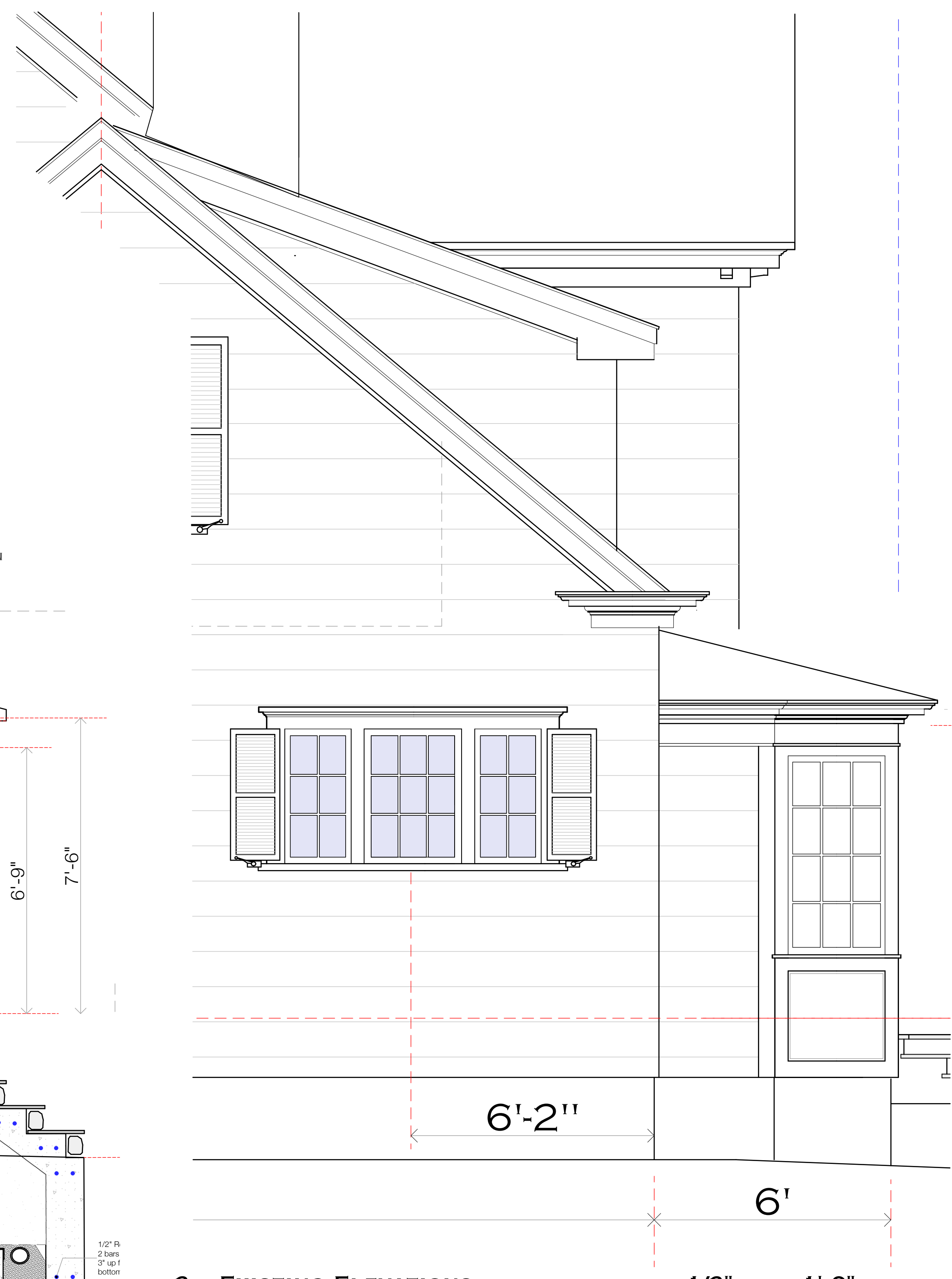
PROJECT CLIENTS: BLYTHE & ZANDY SMITH

A-11



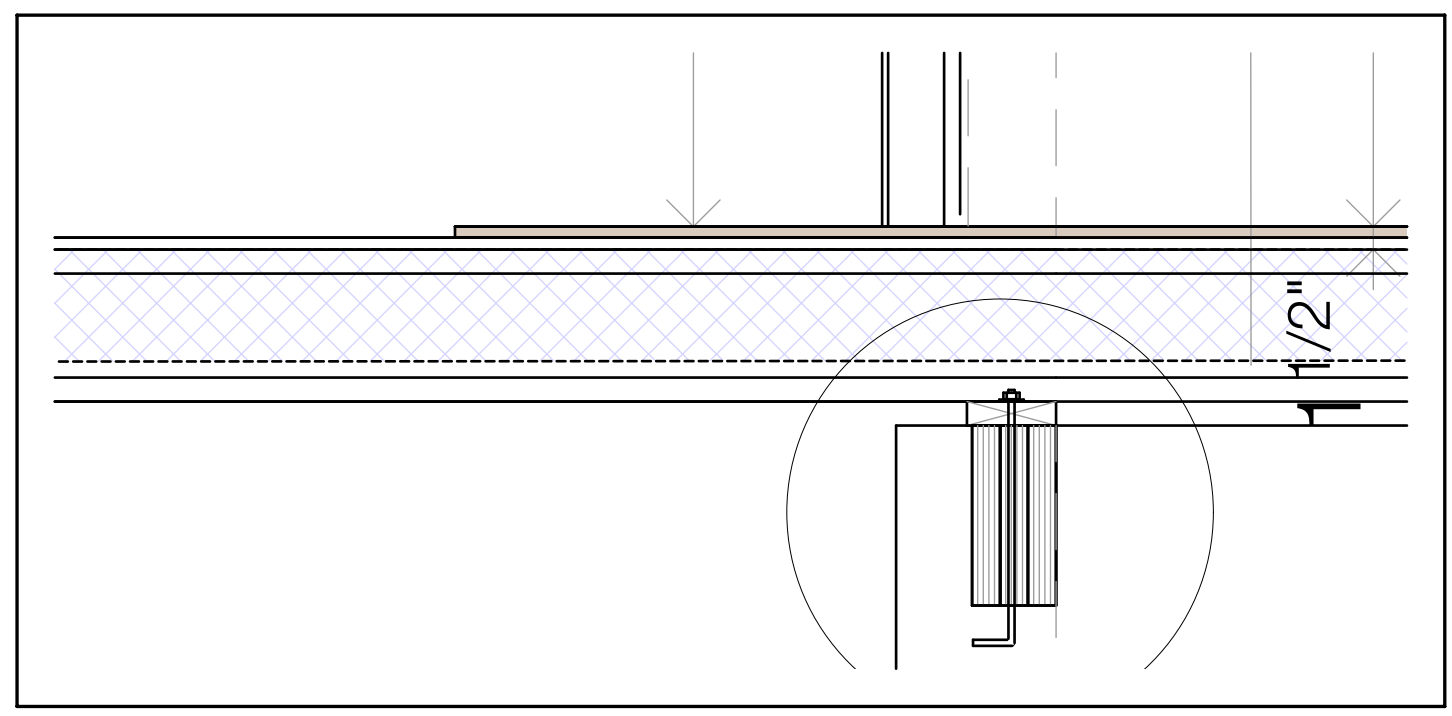
1 CROSS-SECTION C

1/2" = 1'-0"



2 EXISTING ELEVATIONS

1/2" = 1'-0"



Issue Date
4/4/19

Building Section C

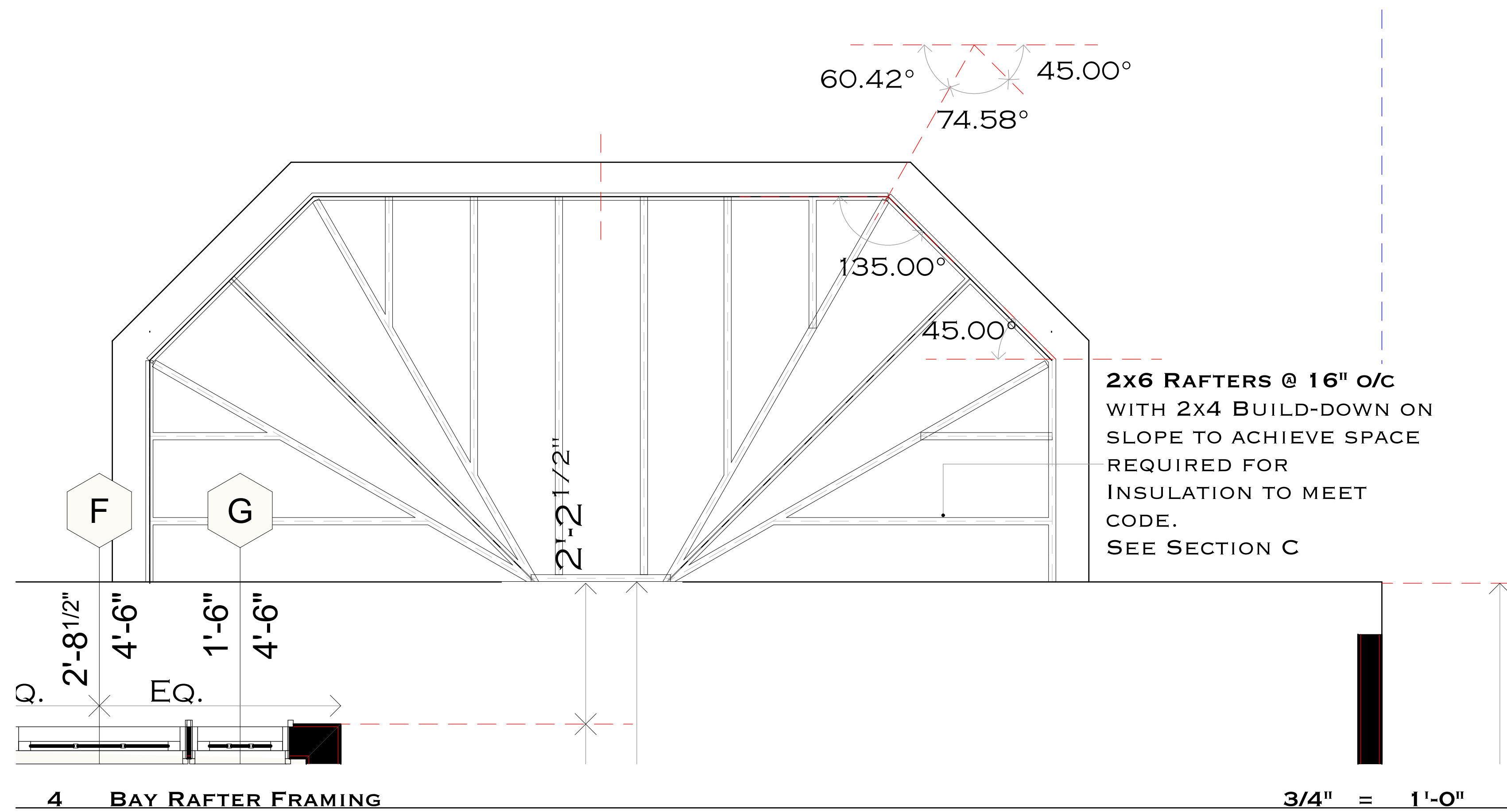
414 Blackhawk Lane
Stratford, CT

51 Mill Hill Lane
Southport, CT

Joseph Matto Architect AIA

IN COLLABORATION WITH SAGE DESIGN

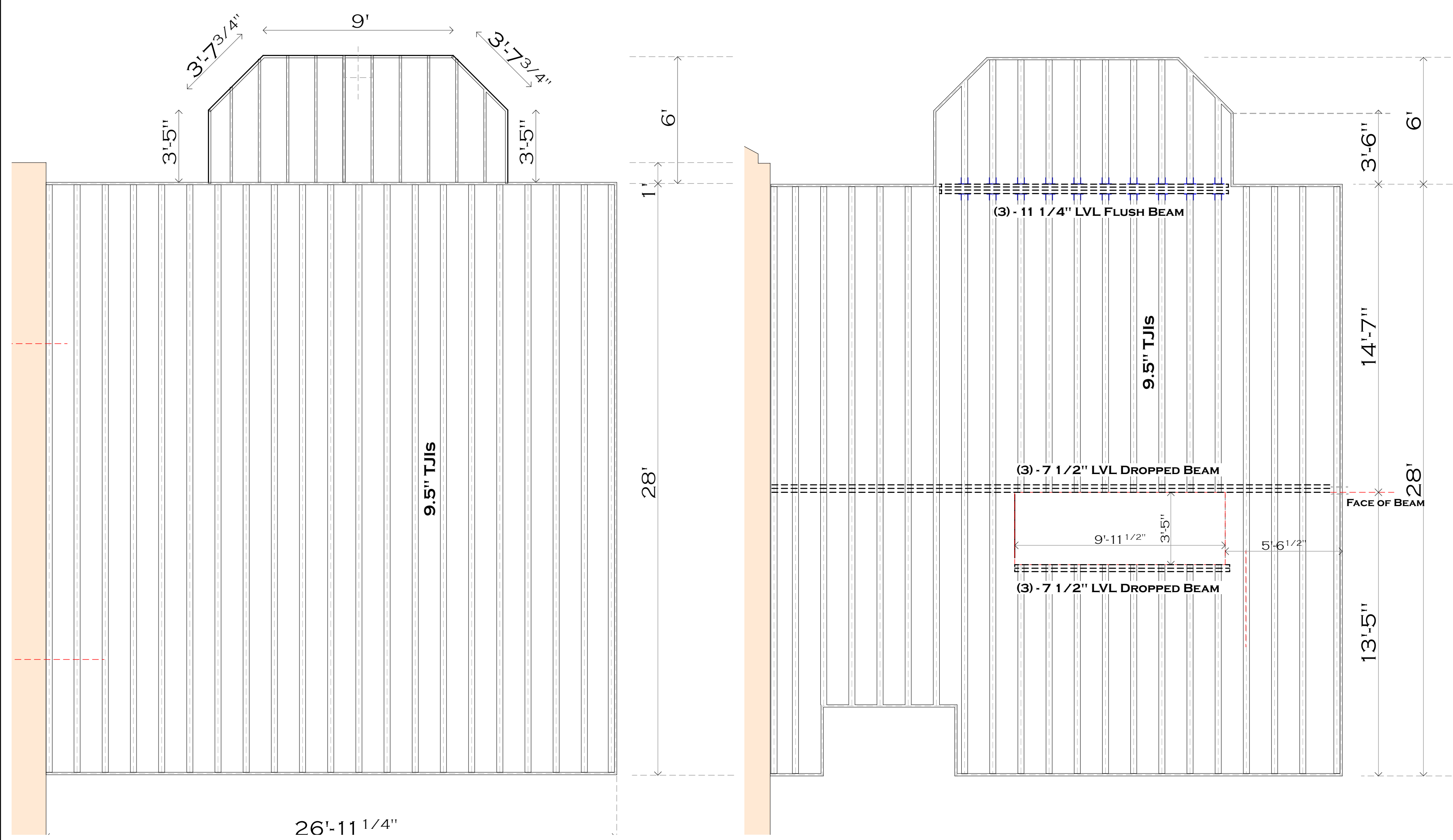
PROJECT CLIENTS: BLYTHE & ZANDY SMITH



2x6 RAFTERS @ 16" o/c
WITH 2x4 BUILD-DOWN ON
SLOPE TO ACHIEVE SPACE
REQUIRED FOR
INSULATION TO MEET
CODE.
SEE SECTION C

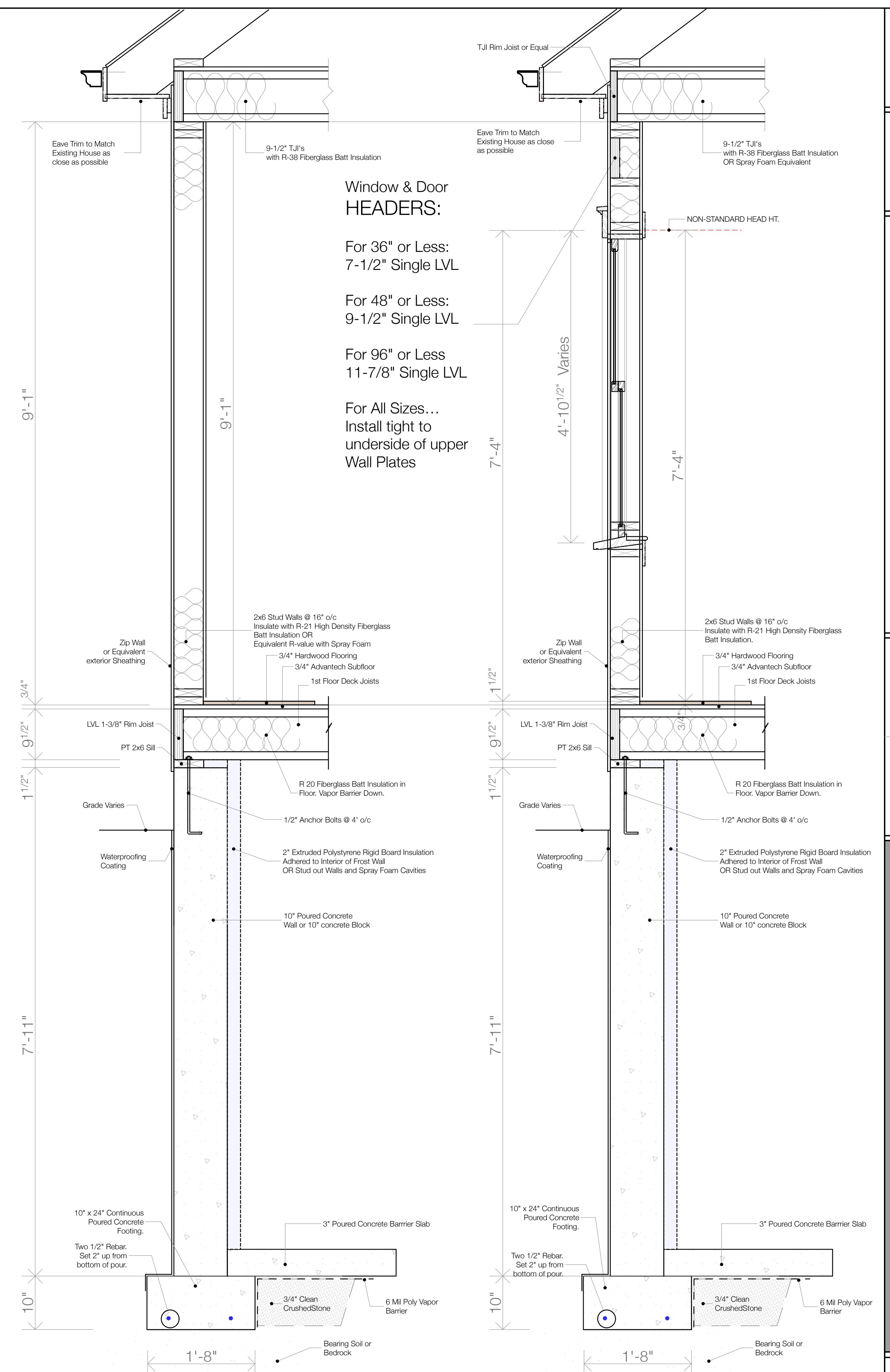
4 BAY RAFTER FRAMING

$\frac{3}{4}'' = 1'-0''$



3 2ND FLOOR DECK FRAMING

2 1ST FLOOR DECK FRAMING



Typical Wall Section for 1st Floor Addition

Typical Wall Section with Window for 1st Floor Addition

1 TYPICAL WALL SECTIONS

$1'' = 1'-0''$

Issue Date
4/4/19

Typical Wall Sections

414 Blackhawk Lane
Stratford, CT

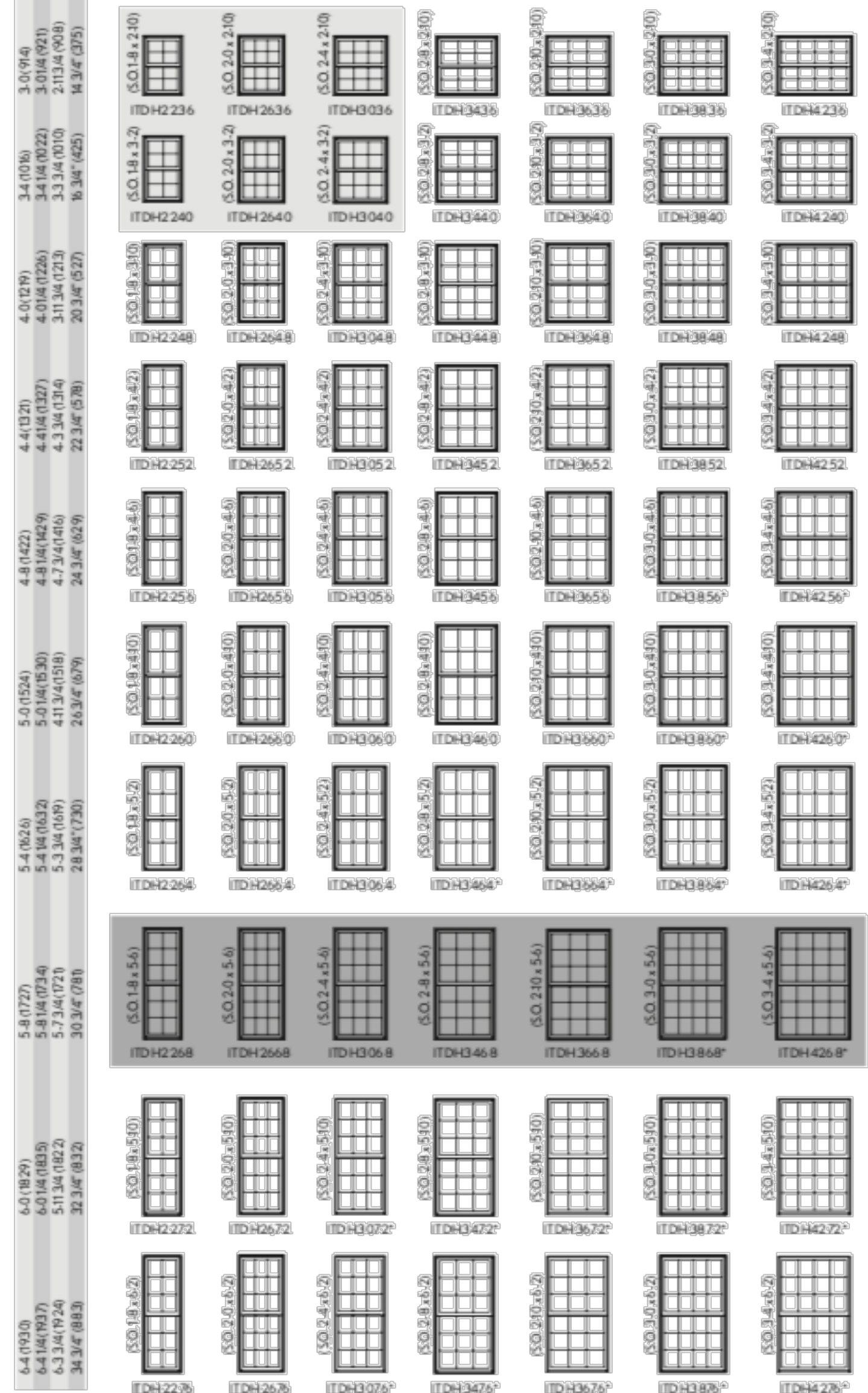
51 Mill Hill Lane
Southport, CT

Joseph Matto Architect AIA
 IN COLLABORATION WITH SAGE DESIGN
 PROJECT CLIENTS: BLYTHE & ZANDY SMITH

DOUBLE HUNG

Operator Units

Max. Op. (mm)	110 (55.9)	2-2 (660)	2-6 (762)	210 (864)	3-0 (914)	3-2 (965)	3-4 (1067)
Min. Op. (mm)	110 (55.9)	2-2 (660)	2-6 (762)	210 (864)	3-0 (914)	3-2 (965)	3-4 (1067)
Frame Size (mm)	1-9 1/2 (546)	2-1 1/2 (648)	2-5 1/2 (762)	2-9 1/2 (864)	3-1 1/2 (914)	3-1 1/2 (914)	3-5 1/2 (1054)
Glass Size (mm)	16 3/4" (425)	20 3/4" (527)	24 3/4" (629)	28 3/4" (730)	30 3/4" (781)	32 3/4" (832)	36 3/4" (933)



WINDOW SCHEDULE

ID	QTY	LOCATION	MANUFACTURER	UNIT #	TYPE	R.O.	SASH CUTS	JAMB	INT. FINISH	EXT FINISH	HDWRE FINISH
A	3	1ST FLOOR STANDARD	INTEGRITY/MARVIN	ITDH 3460	DOUBLE HUNG	2'-8 1/2" x 4'-9 1/2"	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
AM	1	DINING ROOM	INTEGRITY/MARVIN	ITDH 3460-2W	DOUBLE HUNG FACTORY MULLED	5'x5'	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
B	5	KITCHEN BAY	INTEGRITY/MARVIN	ITDH 3460	DOUBLE HUNG - SITE MULLED	2'-8 1/2" x 4'-9 1/2"	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
C	1	KITCHEN SINK	INTEGRITY/MARVIN	ITDH 21/25/21x43	CASEMENT FACTORY MULLED	5'-6" x 3'-7 3/4"	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
E	3	MBR BOW WALL	INTEGRITY/MARVIN	ITDH 3460	DOUBLE HUNG-SITE MULLED	2'-8 1/2" x 4'-9 1/2"	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
F	1	TUB & ATTIC STORAGE	INTEGRITY/MARVIN	ITDH 3460	DOUBLE HUNG	2'-8 1/2" x 4'-6"	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
F	1	MBR TUB CENTER	INTEGRITY/MARVIN	ITDH 3460	DOUBLE HUNG-SITE MULLED	2'-8 1/2" x 4'-6"	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
G	2	MBR TUB FLANKERS	INTEGRITY/MARVIN	ITDH 3460	DOUBLE HUNG-SITE MULLED	1'-6" x 4'-6"	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
H	3	BASEMENT BAY	INTEGRITY/MARVIN	IAWN 3327	AWNING-3W-FACTORY MULLED	2'-9 1/2" x 2'-4"	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
J	1	MASTER BEDROOM	INTEGRITY/MARVIN	IAWN 3327	AWNING	2'-8 1/2" x 3'-2"	6 OVER 6	6-9/16" VIF	PRIMED WHITE	PRIMED WHITE	?
	21										

DOOR SCHEDULE

ID	LOCATION	QTY	MNFTR	TYPE / STYLE - OPERATION	LEAF STYLE/THICKNESS	W X H SIZE	JAMBS	THRESHOLD	HARDWARE MANUF. - FINISH	HINGE TYPE/FINISH	NOTES
1		1				2'-6" x 6'-8"					
1	SIDE ENTRY	1	SIMPSON	ENTRY DOOR W 18" SIDELIGHT	1-3/4" OR 2-1/4"	3'x6'-8"	6-9/16" VIF	SOLID WOOD	TBD	SQUARE STAINLESS STEEL	SCREEN DOOR REQUIRED
2	ENTRY CLOSET	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-2" x 6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
3	ENTRY-FR	1	-	-	-	5'-6" x 6'-8"	4-9/16" V...	-	-	-	
4	ENTRY-CLOSET	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-2" x 6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
5	ENTRY-KITCHEN	1	-	-	-	3'x6'-8"	4-9/16" VIF	-	-	-	
7	ENTRY TO MUDROOM	1	MARVIN	-	-	3'x6'-8"	4-9/16" VIF	-	-	-	
8	MUDRM 1/2 BATH	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-6" x 6'-8"	4-9/16" VIF	MARBLE SADDLE	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
9	MUDRM - PANTRY	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-6" x 6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
10	PANTRY-KITCHEN	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-6" x 6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
11	KITCHEN REAR DR	1	MARVIN	SLIDING DOOR	GLASS - 2W X 5H	6'x6'-8"	6-9/16" VIF	INTEGRAL METAL	INTEGRAL FROM MANUFACTUR...	SQUARE STAINLESS STEEL	
12	KITCHEN-FR CO	1	-	-	-	5'-6" x 6'-8"	4-9/16" VIF	-	-	-	
13	DINING ROOM	1	MARVIN	SLIDING DOOR	GLASS - 2W X 5H	6'x6'-8"	4-9/16" VIF	-	INTEGRAL FROM MANUFACTUR...	SQUARE STAINLESS STEEL	
14	DINING ROOM	1	MARVIN	SLIDING DOOR	GLASS - 2W X 5H	6'x6'-8"	4-9/16" VIF	-	INTEGRAL FROM MANUFACTUR...	SQUARE STAINLESS STEEL	
15	DINING ROOM-FIXED	1	MARVIN	SLIDING DOOR - INOPERABLE	GLASS - 2W X 5H	6'x6'-8"	4-9/16" VIF	-	INTEGRAL FROM MANUFACTUR...	SQUARE STAINLESS STEEL-	
16	MBR HALL CLOSET	1	TRU-STYLE	PLAY ROOM - SOLDI BI-FOLD	1-3/4" - THICK FOR HIN...	5'x6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
17	MBR HALL CLOSET	1	TRU-STYLE	BI-PART DOUBLE DOORS	1-3/8"	3'x6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
18	MBR HALL CLOSET	1	TRU-STYLE	BI-PART DOUBLE DOORS	1-3/8"	3'x6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
19	MBR A/CH CLOSET	1	TRU-STYLE	CASED OPENING		3'x6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
20	A/CH TO CEDAR CLO...	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-6" x 6'-4"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
21	CEDAR CLO TO STOR...	1	TRU-STYLE	6 PANEL INSULATED DR W W/S	1-3/4"	2'-6" x 6'-4"	6-9/16" VIF	INTEGRAL METAL	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
22	WALK-IN CLOSET	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-4" x 6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
23	MBR ENTRY	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-6" x 6'-8"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
24	MASTER BATHRM	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-4" x 6'-4"	4-9/16" VIF	MARBLE SADDLE	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
24	TOILET RM	1	TRU-STYLE	6 PANEL TO MATCH HOUSE	1-3/8"	2'-4" x 6'-4"	4-9/16" VIF	-	BALDWIN IMAGES OR EQUAL	SQUARE STAINLESS STEEL	
		25									

Issue Date
4/4/19

Window & Door Schedules

414 Blackhawk Lane
Stratford, CT

Joseph Matto Architect AIA

IN COLLABORATION WITH SAGE DESIGN

PROJECT CLIENTS: BLYTHE & ZANDY SMITH

51 Mill Hill Lane
Southport, CT

110 MPH - Wind Design

See Section R301.2.1.1 of the 2003 International Residential Code.

These Details are copied from handouts given By Christopher Laux, The State Building Inspector at the time, to Connecticut Architects as suitable methods for meeting the 110 MPH Design requirements of Section R301.2.1.1 of the 2003 IRC. Updated details for 2015 IRC have not been provided as of yet. These are not applicable to Shear Wall conditions susceptible to Overturning.

Schedule of Approved Connectors

Type	Manufacturer	Application
Anchor Bolt	Generic	Sill Plate to Foundation @ 48" o/c.
CS Series	Simpson	Floor to Floor @ 32" o/c.
CS Series	Simpson	At Door & Window Openings
STHD Series	Simpson	Deck to Foundation
RSP4	Simpson	Deck to Foundation
HTT22	Simpson	Wood Stud to Foundation
H7	Simpson	Rafters to Top Wall Plates
ST 2115	Simpson	Stud-to-Stud Straps
LSTA 15	Simpson	Rafter-to-Rafter Over Ridge
HUTF/HUSTF	Simpson	Solid Wood Joist Hangers
ITT/HTT/MIT	Simpson	Top Flange Joist Hangers (TJI's)
BC8	Simpson	Wood Post Base
CC w strap	Simpson	Wood Post Cap
LCC	Simpson	Building Column Cap

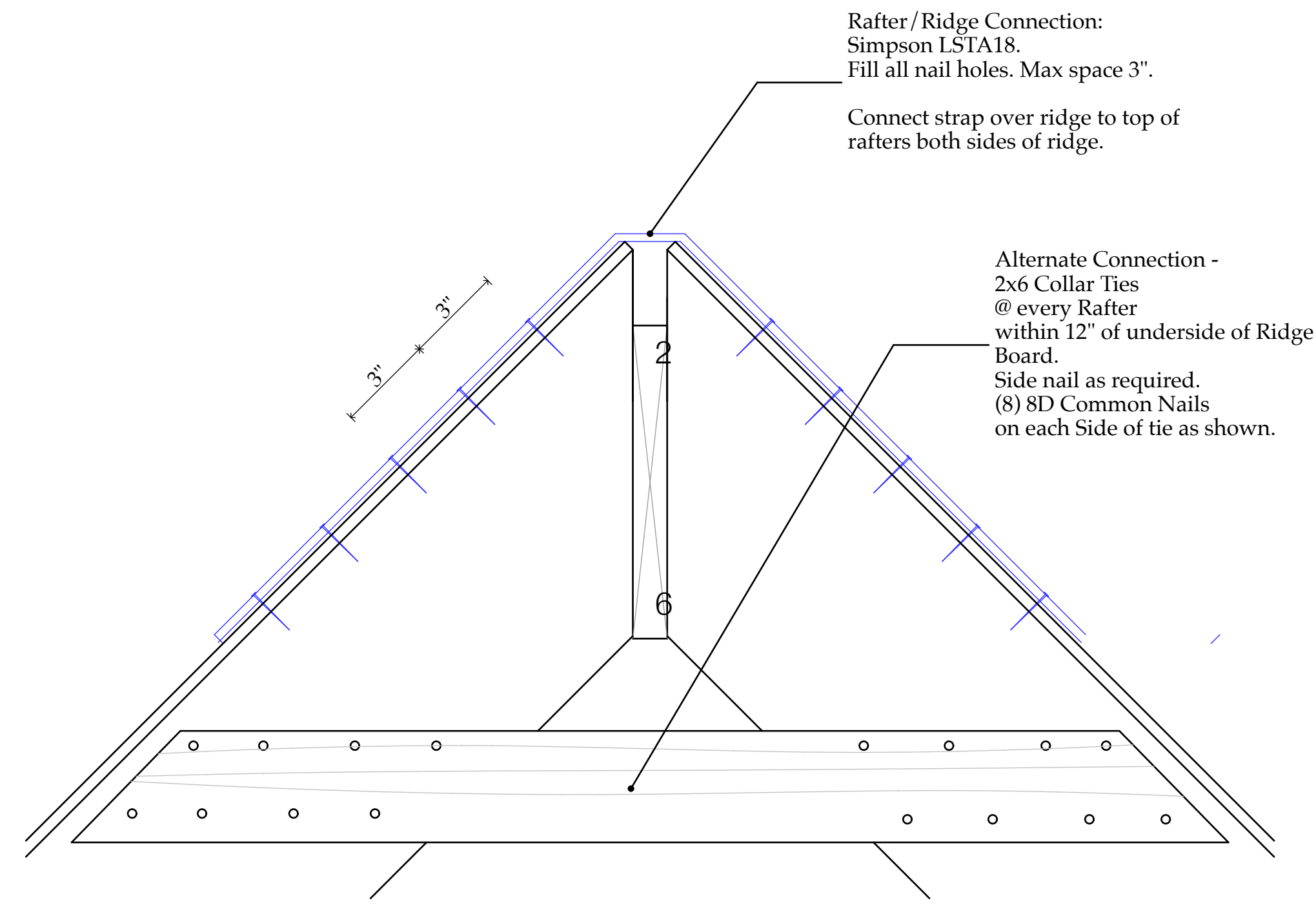
16 Common - .162" Wall & Floor Framing

12 Common - .148" Toe Nailing

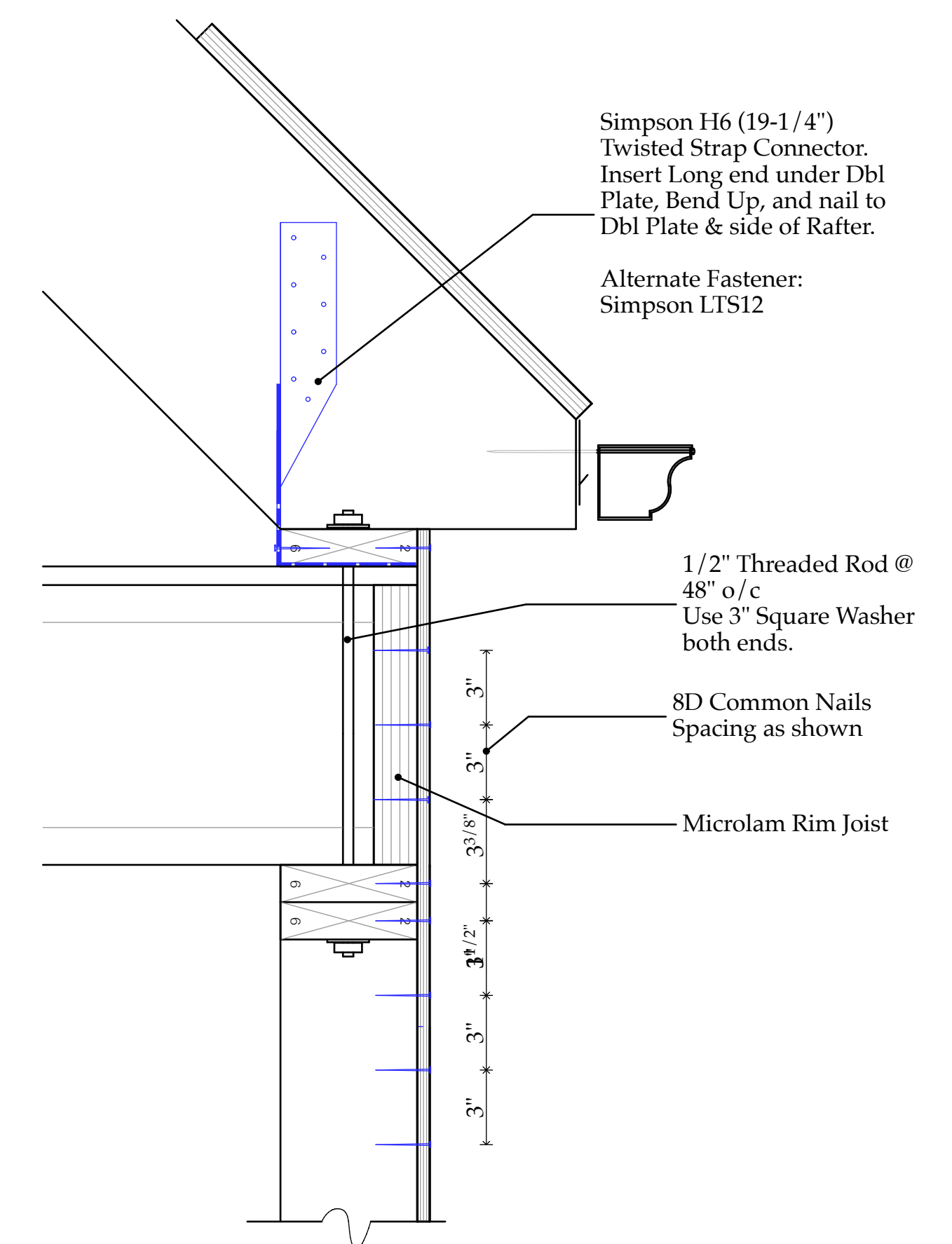
10 D - .148" Sheathing, Toe Nailing

8D - .131" Wall & Roof Sheathing

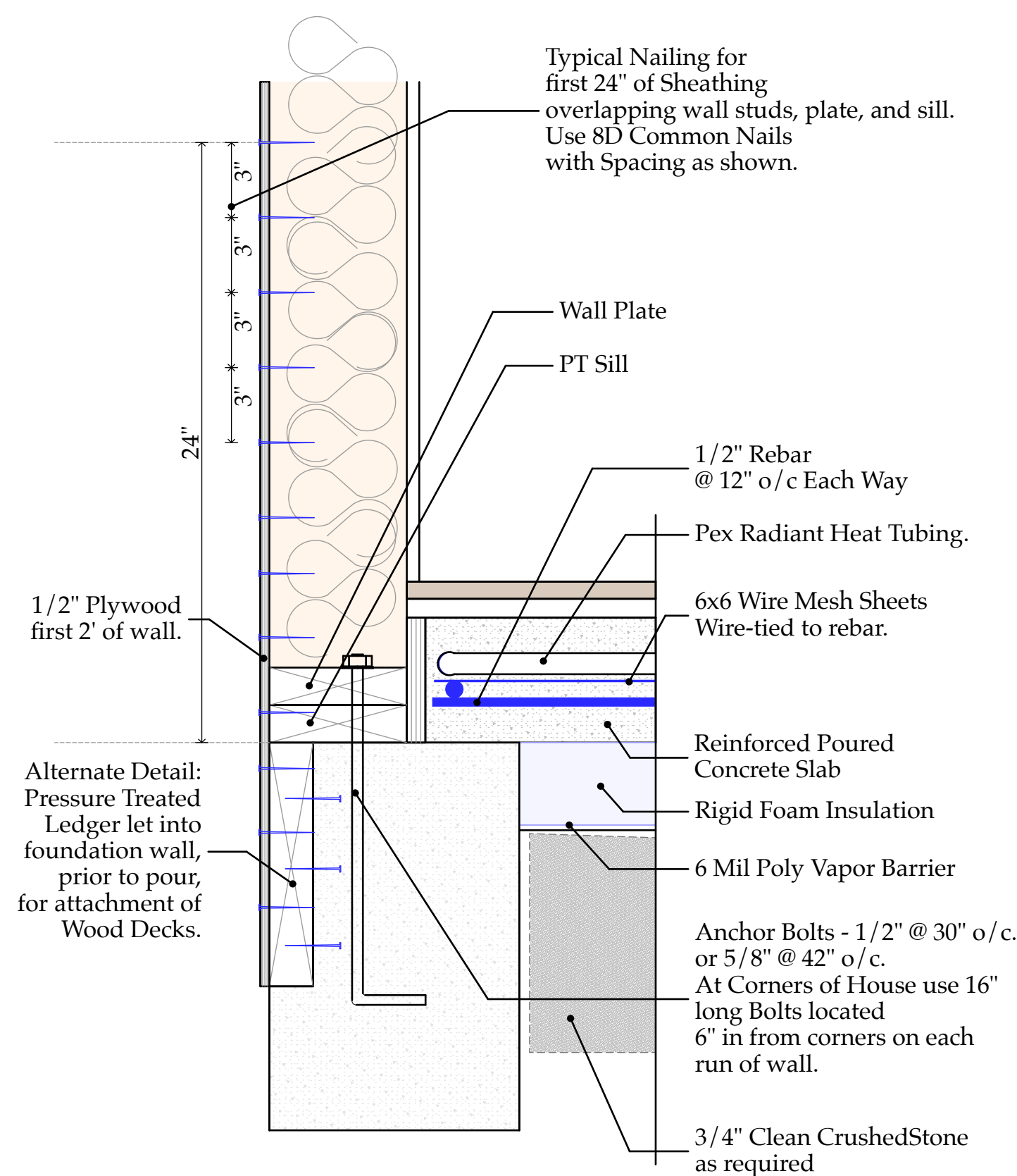
Additional Connection, Nailing & Sheathing Methods can be referenced in the Wood Framing Construction Manual-2001



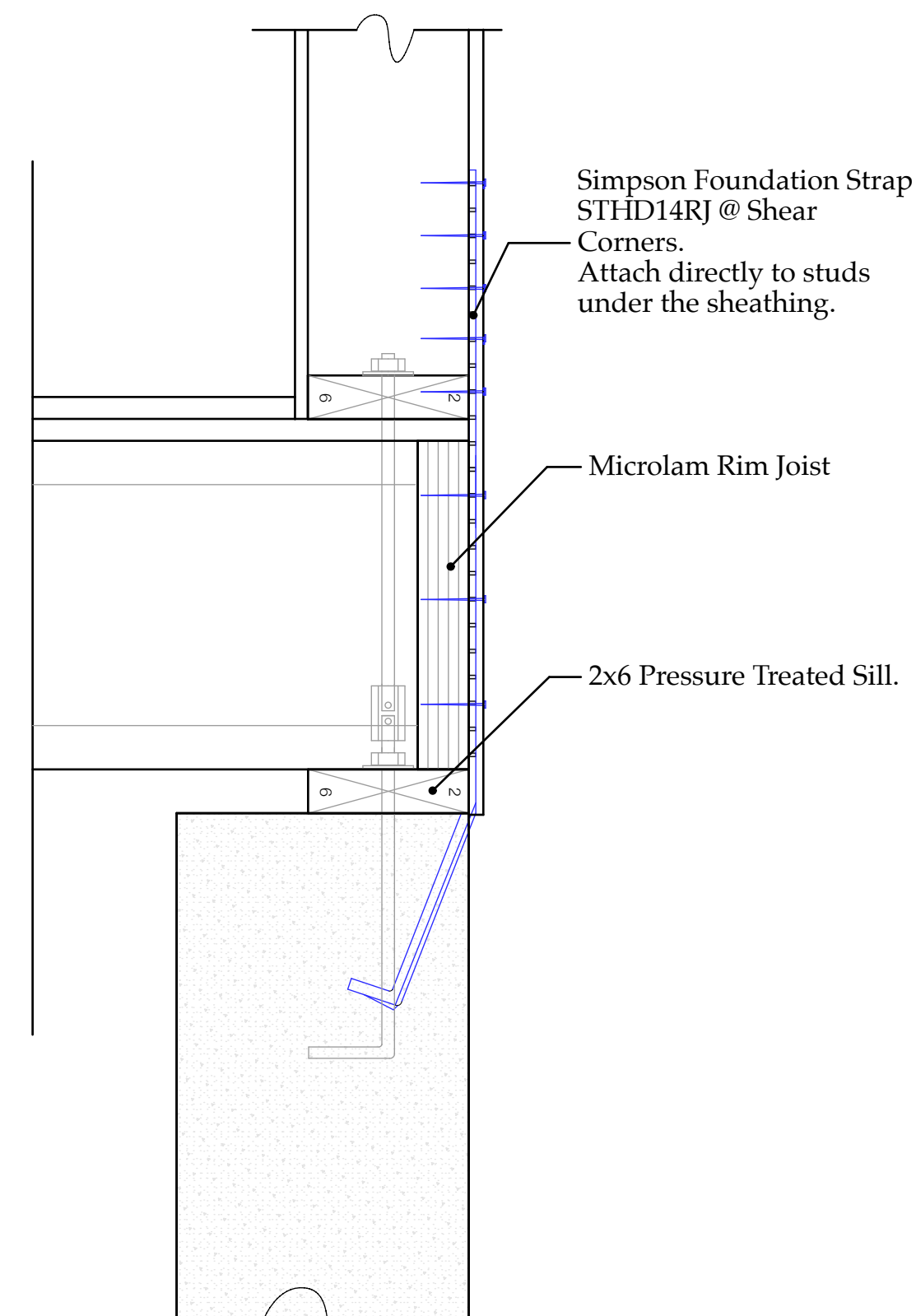
Rafter to Ridge to Rafter Connection @ Top of Roof



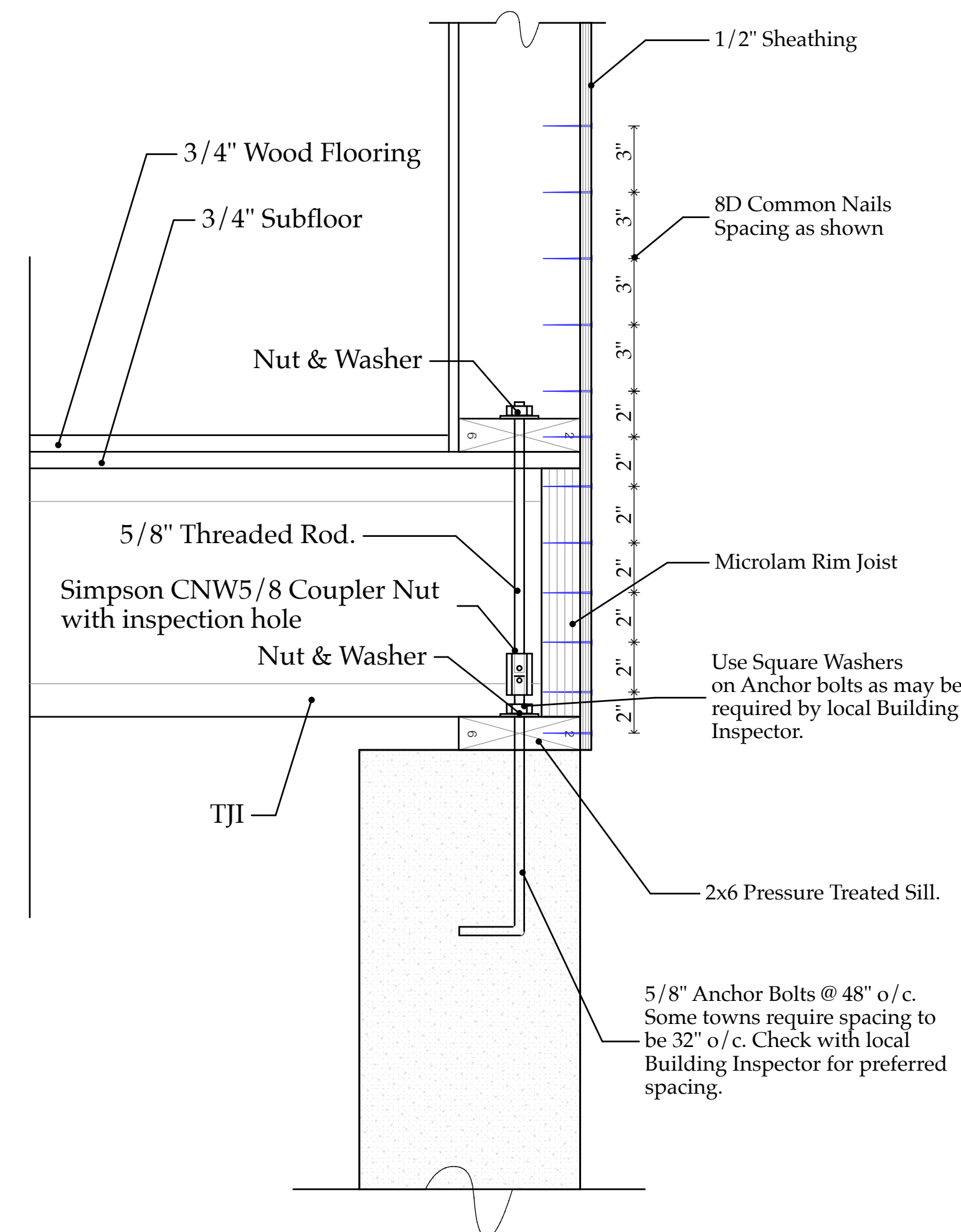
Roof to Floor Deck & Wall Connection



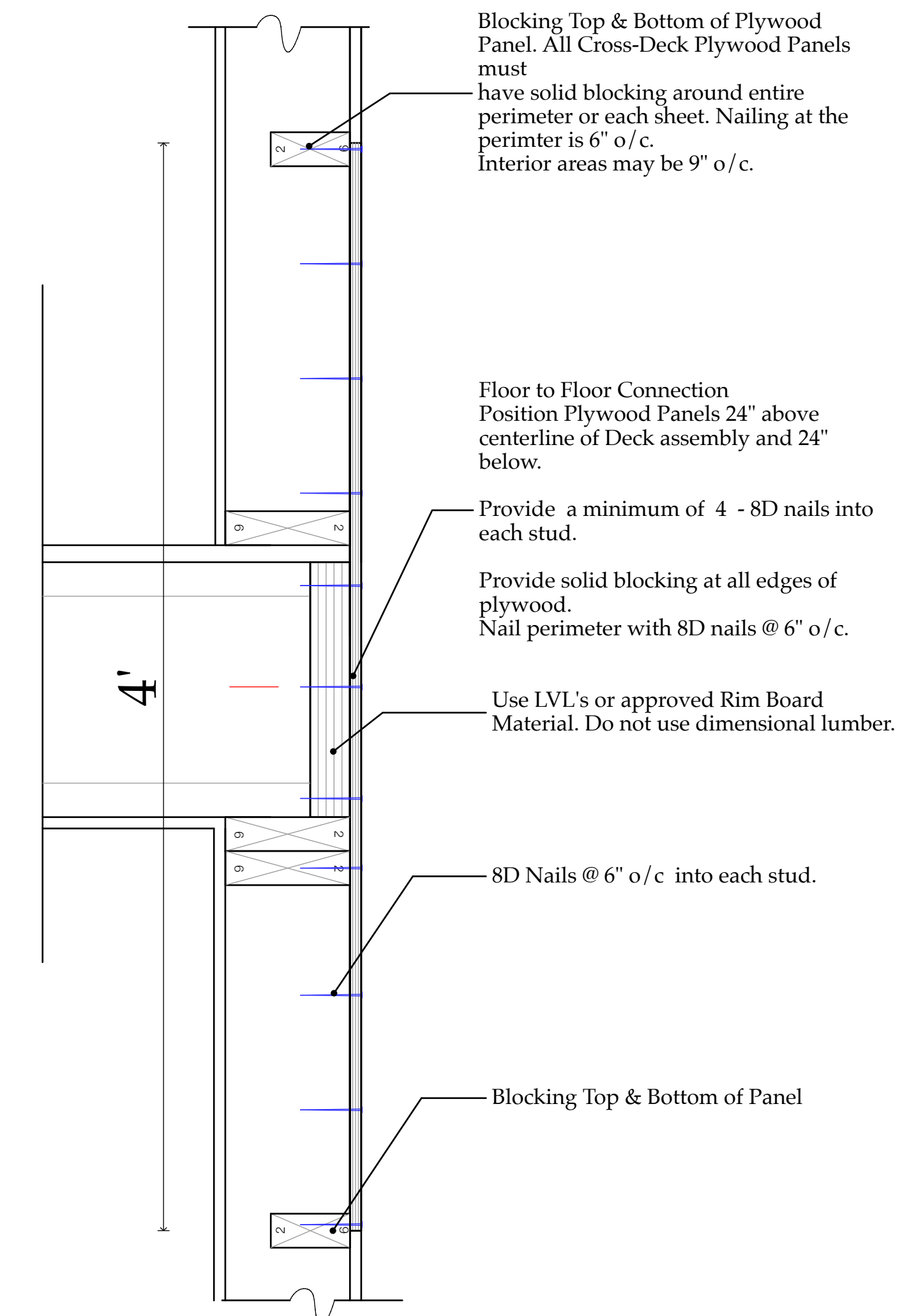
Wall Directly To Foundation with Adjacent Slab Floor



Wall to Foundation @ Ends of Shear Walls (Use at Main Foundation Corners for wall runs over 8' long)



Wall to Foundation Connection Along Length of a Shear Wall



Wall to Wall Connection Across Floor Decks

Issue Date
4/4/19

High Wind Details

414 Blackhawk Lane
Stratford, CT

51 Mill Hill Lane
Southport, CT

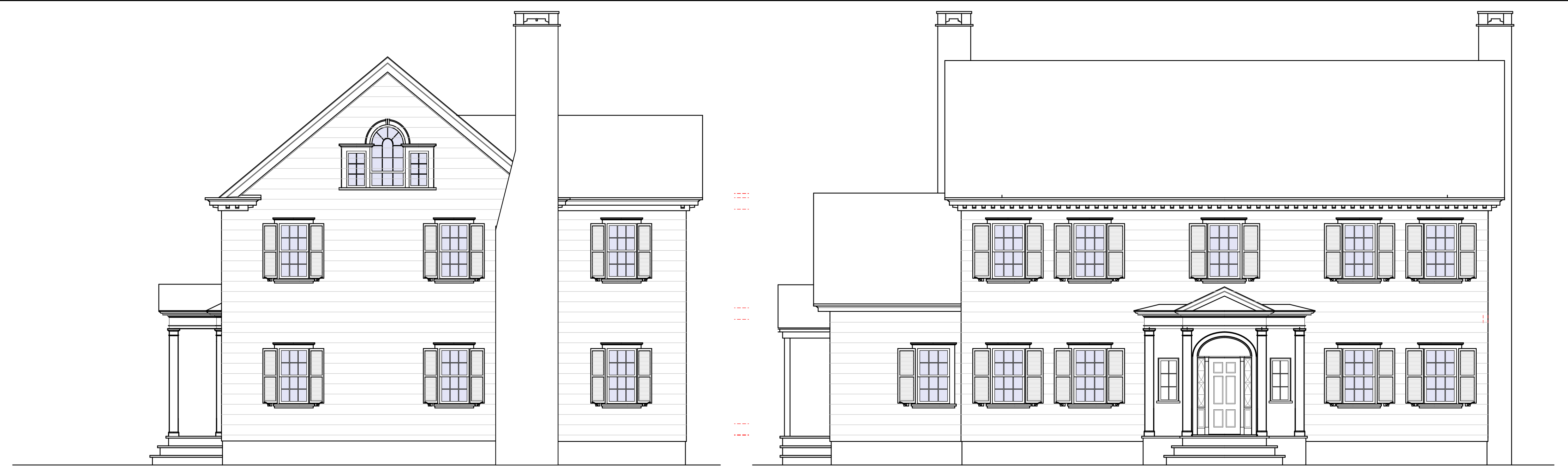
PROJECT CLIENTS:

BLYTHE & ZANDY SMITH

IN COLLABORATION WITH SAGE DESIGN

Joseph Matto Architect AIA

A-15



LEFT SIDE ELEVATION
(NORTH)

REAR ELEVATION
(EAST)

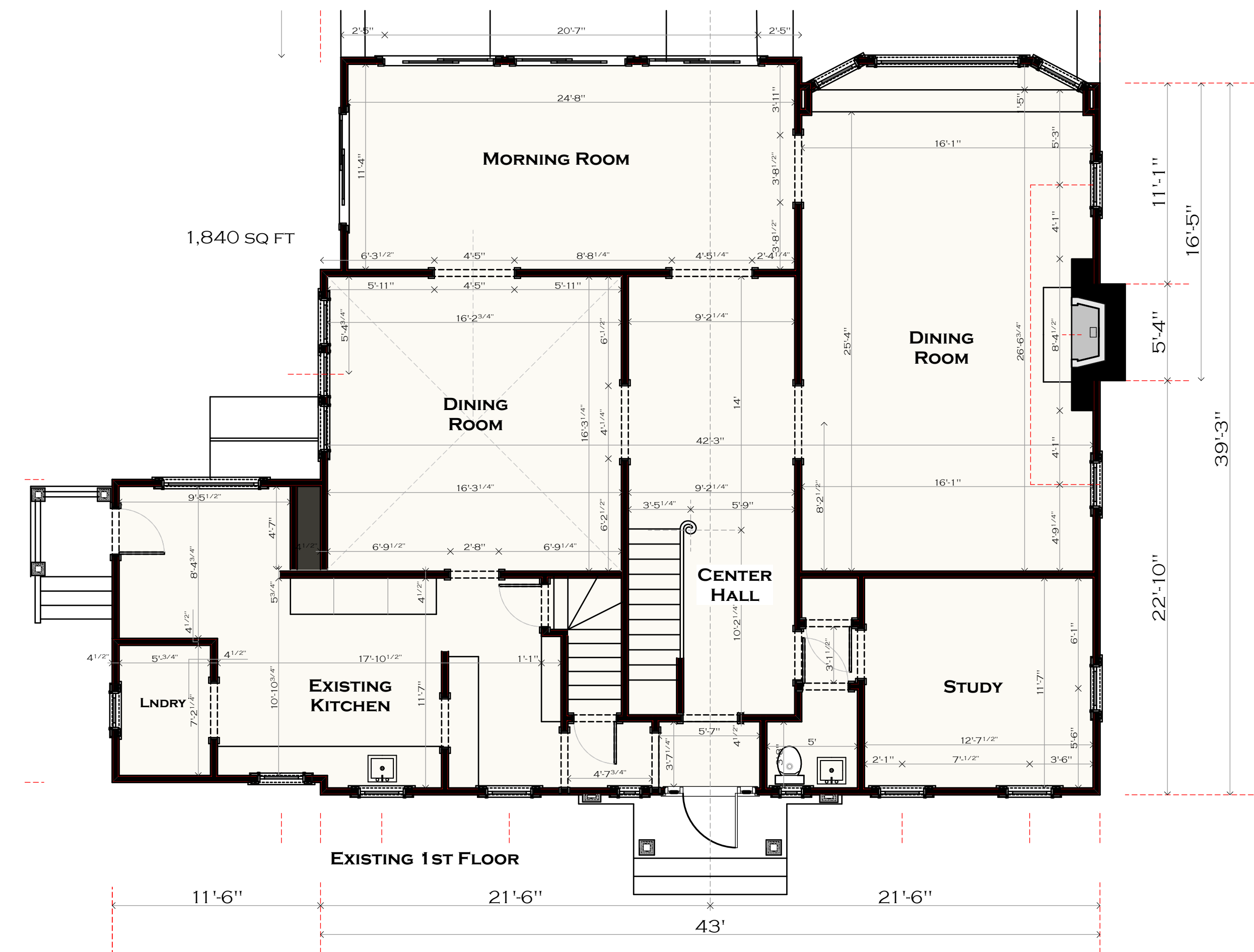
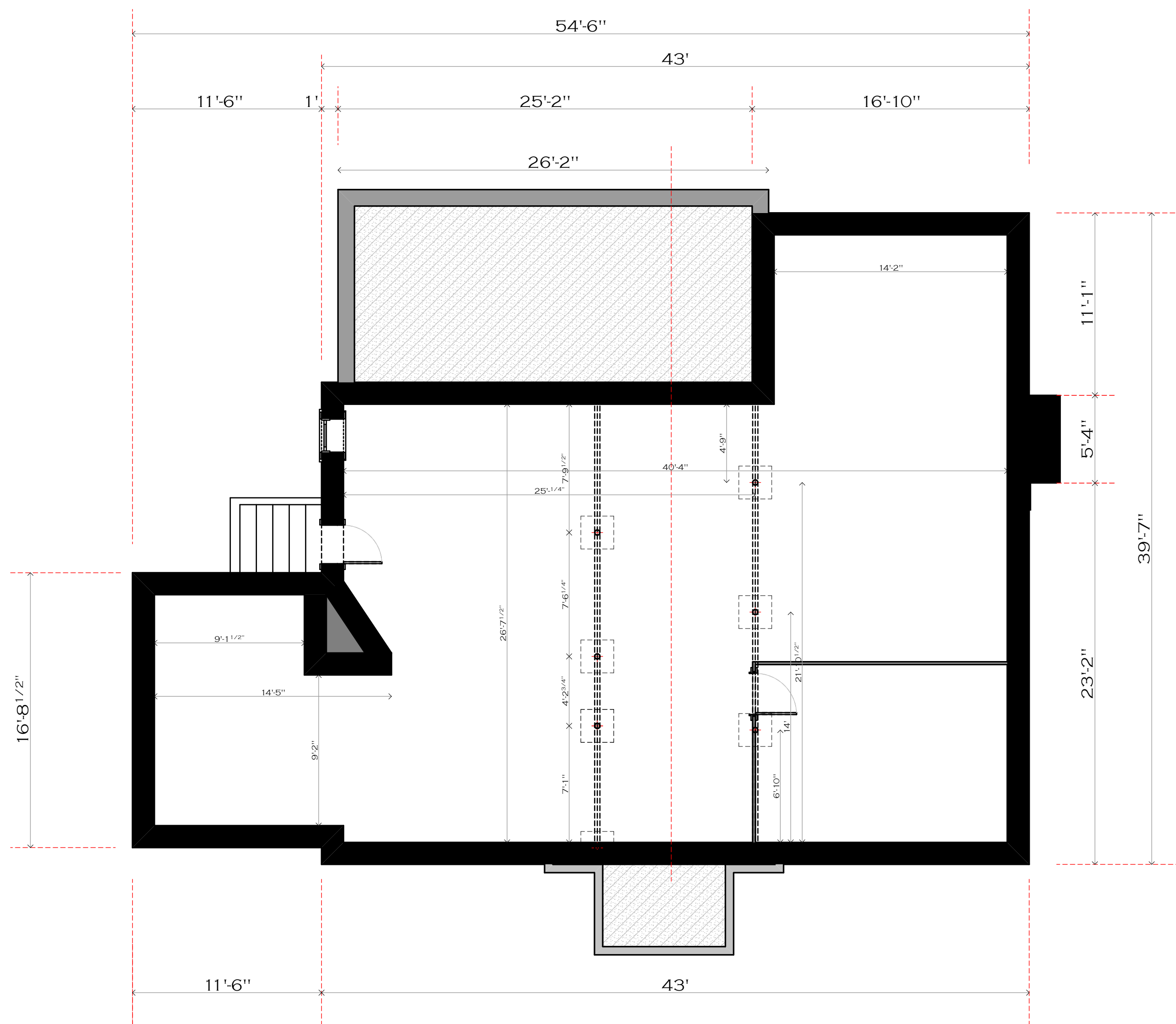
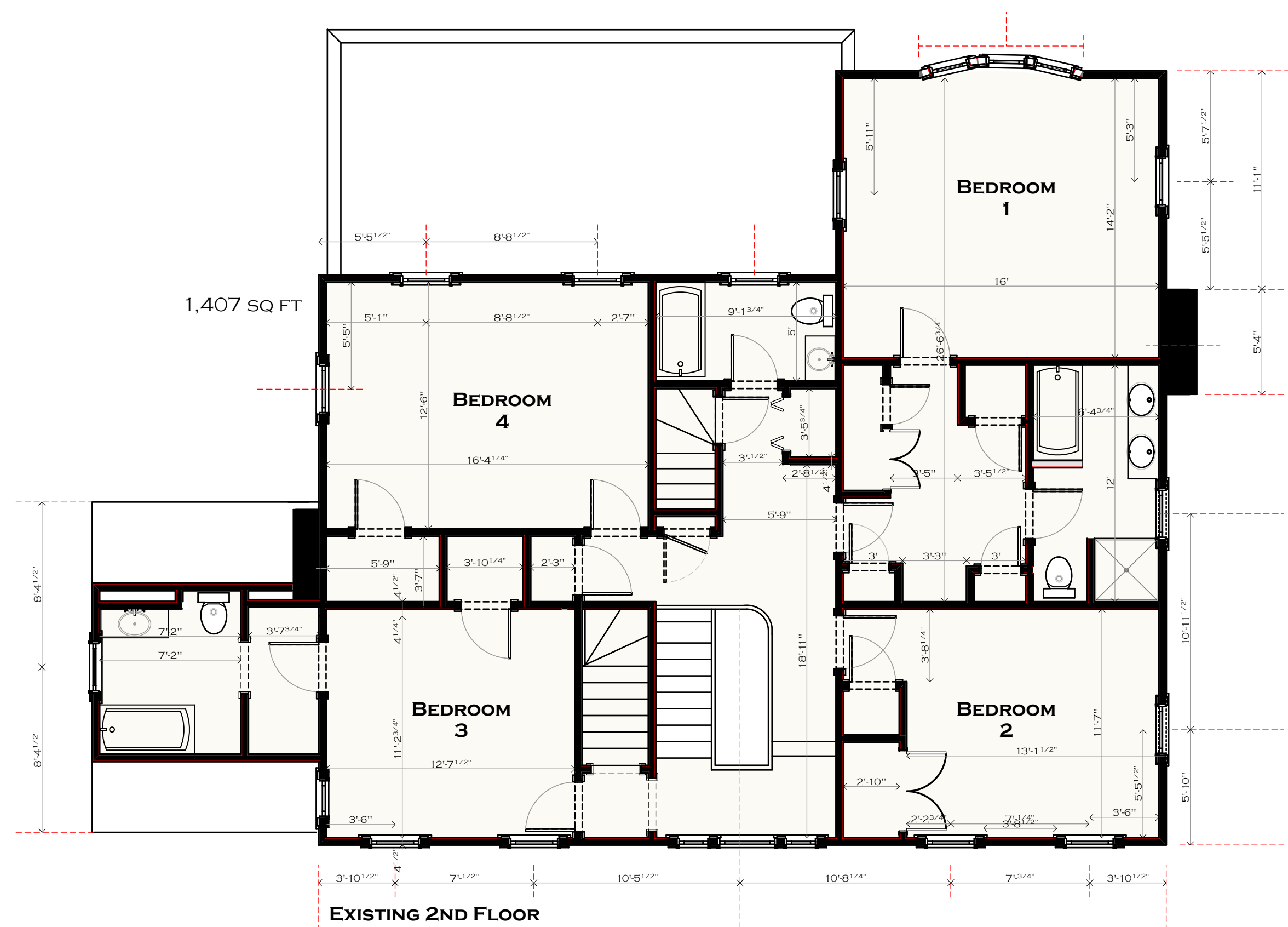
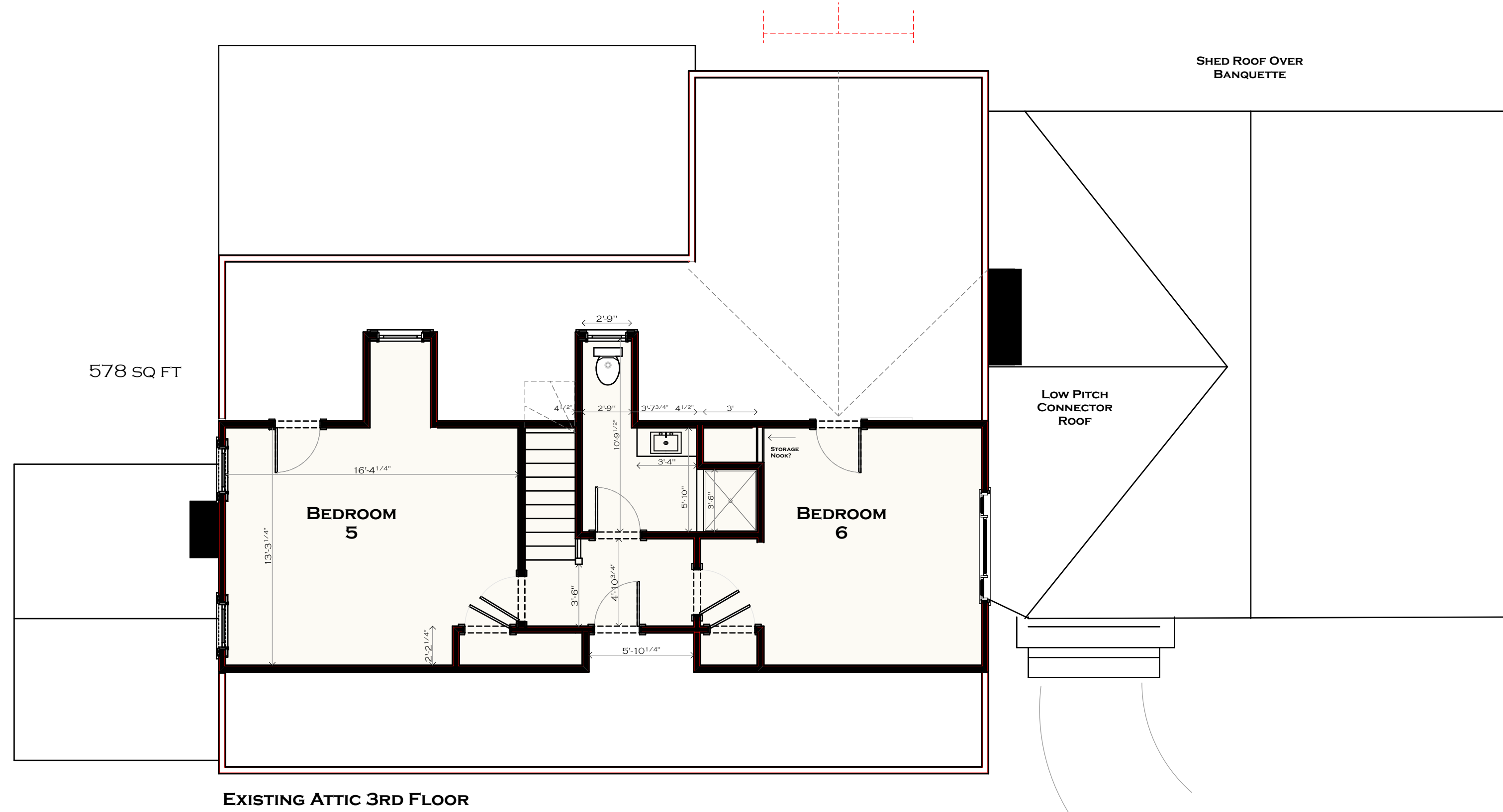
EXISTING ELEVATIONS

3/16" = 1'-0"



SITE PROFILE LOOKING NORTH

1/8" = 1'-0"



Issue Date
4/4/19

Existing Conditions - Floor Plans

414 Blackhawk Lane
Stratford, CT

51 Mill Hill Lane
Southport, CT

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Ex-02